

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

AGENDA
CHERRY COUNTY BOARD OF COMMISSIONERS
Cherry County Courthouse, Commissioners Meeting Room
Tuesday, April 30, 2024 @10:00 a.m.

1. Call Meeting to Order, Roll Call, Open Meetings Act Announcement, and Pledge of Allegiance
2. Discuss/Act – Approve Minutes
3. Discuss/Act – Approve Claims *Claims need to be approved first!
4. New Business

a. 10:15 a.m. **Board of Equalization**

1. Public Hearing – Property Tax Exemption on Real and Personal Property by Qualifying Organizations
2. Discuss/Act – Permissive Exemptions, Form 451
3. Discuss/Act – Tax List Correction(s)
4. Discuss – June & July BOE Schedule

b. Cherry County Roads Update

c. Discuss/Act – Request to Occupy County Right-of-Way

d. Cherry County Emergency Management Update

e. Discuss/Act – Zelle Human Resources Solutions – Consulting Proposal

f. 11:00 a.m. Discuss/Act – Cherry County Employees Health Insurance Renewal

g. 11:30 a.m. Adrian Smith’s Office – Legislative Update

h. 11:45 a.m. Elaine Menzel, Legal Counsel – NACO Update

i. 1:00 p.m. Public Comment

j. 1:15 p.m. Discuss/Act – Pat Greenough, B&G Superintendent re: Cherry County South Lights & Justice Center Duct Cleaning and Roof Repairs

k. 1:30 p.m. **Board of Corrections**

1. Staff & Census Update

l. 2:00 p.m. Cherry County Zoning Administrator Interview(s)

m. Discuss/Act – Cherry County Zoning Administrator Position

n. Discuss/Act – Accept Planning Commission Resignation

o. Discuss/Act – Cherry County Planning Commission Appointment

p. Discuss/Act – Cherry County Planning Commission Mileage Reimbursement

q. Discuss – Cherry County Zoning Fees

5. Adjournment

This is an open meeting of the Cherry County Board of Commissioners. Cherry County abides by the Nebraska Open Meetings Act in conducting business. If necessary, Cherry County reserves the right to adjust the order of items on the agenda and to modify the agenda to include items of an emergency nature. The agenda shall be kept continually current and is available for public inspection at the Cherry County Clerk’s Office during normal business hours.

Plan Comparison

Cherry County
2024



	Current Plan		Option 13		Option 15	
	In Network	Out of Network	In Network	Out of Network	In Network	Out of Network
Deductible						
Individual	\$2,500	5,000	\$2,500	\$5,000	\$2,500	\$5,000
Family	\$5,000	10,000	\$5,000	\$10,000	\$5,000	\$10,000
Type of Deductible	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded
Coinsurance (Amount Member Pays)						
Hospital/Medical/Surgical/Other	20%	50%	20%	50%	20%	50%
Out-of-Pocket Limit (Includes Deductible, Coinsurance and Copays)						
Individual	\$4,500	\$9,000	\$4,500	\$9,000	\$4,500	\$9,000
Family	\$9,000	\$18,000	\$9,000	\$18,000	\$9,000	\$18,000
Type of Out-of-Pocket Limit	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded
Preventive Care						
Preventive Care Services	0%	Deductible and Coinsurance	0%	Deductible & Coinsurance	0%	Deductible & Coinsurance
Physician Office						
Primary Care Physician Office	\$35 Copay	Deductible and	\$35 Copay	Deductible and	\$35 Copay	Deductible and
Specialist Physician Office	\$35 Copay	Deductible and	\$35 Copay	Deductible and	\$35 Copay	Deductible and
Telehealth	\$35 Copay	Not Covered	\$10 Copay	Not Covered	\$10 Copay	Not Covered
Emergency Care						
Urgent Care Facility Services	Deductible and Coinsurance	Deductible and Coinsurance	\$75 Copay	Deductible and Coinsurance	\$75 Copay	Deductible and Coinsurance
Emergency Care Services	Deductible and Coinsurance	Deductible and Coinsurance	\$250 Copay then Coinsurance	In-network Level of Benefits	\$250 Copay then Coinsurance	In-network Level of Benefits
Ambulance Services	Deductible and Coinsurance	In-network Level of Benefits	Deductible and Coinsurance	In-network Level of Benefits	Deductible and Coinsurance	In-network Level of Benefits
Mental Illness and/or Substance Dependence and Abuse Services						
Inpatient	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance
Outpatient	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance	Deductible and Coinsurance
Office Services	Plan Pays 100%	Deductible and Coinsurance	\$35 Copay	Deductible and Coinsurance	\$35 Copay	Deductible and Coinsurance
Emergency Care Services	Deductible and Coinsurance	In-network Level of Benefits	Copay then Coinsurance	In-network Level of Benefits	Deductible and Coinsurance	In-network Level of Benefits
Telehealth	\$35 Copay	Not Covered	\$10 Copay	Not Covered	\$10 Copay	Not Covered
Prescription Drugs						
Generic Drugs (Tier 1)	\$10 Copay		\$10 Copay	50% Co-Insurance	\$10 Copay	50% Co-Insurance
Preferred Brand Name (Tier 2)	\$30 Copay		\$35 Copay	50% Co-Insurance	\$30 Copay	50% Co-Insurance
Non-Preferred Brand Name (Tier 3)	\$60 Copay		\$70 Copay	50% Co-Insurance	\$50 Copay	50% Co-Insurance
Specialty Drugs (Tier 4)	Same as Above		Same as Above	Not Covered	\$100 Copay	Not Covered

While every effort was taken to accurately report your benefits, discrepancies, or errors are always possible. In case of discrepancy between the comparison and the plan shown the actual plan documents will prevail.

NOTES:

- *Mental Health and Substance Abuse office services: the plan currently pays 100%. Our standard would be to match the member cost share with the medical office visit which in this case would be a \$35 copay. Yes they can change from Plan pays at 100% to \$35 for MH office services.
- *Obesity: Currently the plan distinguishes between surgical and non-surgical procedures and applies both to the deductible and coinsurance. However, benefits are only payable if the condition meets the definition of "morbid Obesity". Our standard is to exclude treatment for obesity. ASO Block would exclude treatment for Obesity. However, BCBSNE is allowing groups to elect our Weight Loss program which would allow coverages to the weight loss drugs through preauthorization and met medical criteria or non-covered all services.
- *Retail Rx: the plan allows for a 90-day supply and our standard would limit this to a 30-day supply. ASO block has extended supply (ESN) pharmacy benefits. Meaning they would be allowed to fill a 90 day supply at the ESN pharmacies. Non- ESN pharmacies are limited to a 30 day supply. **Need to move to the PDL 20 from PDL 40. Getting a disruption report.**
- *Home Delivery (mail order): The current plan applies the retail copay amounts for Home Delivery with up to a 90-day supply. OIUr standard would be to triple the retail copays for scripts with up to a 90-day supply. The current plan also includes coverage for OON claims at 50%. Our standard would exclude OON Home Delivery claims. ASO block home delivery is 3x's the retail copay, example Generic \$10 copay. Home Delivery 90 day supply is \$30 copay. OON Home delivery is not covered.
- *Specialty Rx: The plan currently has 3-tier copays for generic, brand and non-formulary brand that match the retail copays. Our standard would apply one copay regardless of the tier. Blue Freedom has two copay options: \$100/script or \$250/script. The current plan also pays OON claims at 50%. We exclude any OON claims for specialty medications. ASO block requires a standard Rx option. Option 1 has \$100 copay and option 3 has a \$150 copay for specialty Rx. OON claims are not covered.

CHERRY COUNTY
REQUEST TO OCCUPY COUNTY RIGHT-OF-WAY

CenturyLink Inc. _____, hereinafter referred to as "Owner", request to construct a/an
fiber optic cable & Enclosures _____ occupying the Cherry County public highway system at (legal)

description This job plows ~23,634' of buried fiber optic cable, directional bore to place 490' of fiber, and place 22 pedestals

The Owner proposes to place and maintain the aforesaid construction on Cherry County Public Right-of-Way at Owner's risk and expense and hereby absolves Cherry County, its' officials and employees from any liability arising from the placing and maintaining of said construction. Cherry County will not be liable for any damage to the aforesaid construction that may be caused by Cherry County during maintenance of the right-of-way and if a future road improvement project is scheduled through this area and if the aforesaid construction conflicts with the road improvement project, the Owner will relocate the aforesaid construction at the Owner's expense.

The item that is crossing the roadway and that will occupy the County Right-of-Way is recommended to be bored under the roadway. It is recommended the holes dug for the boring process should be located on private right-of-way. Open trench may be allowed at the discretion of the County. The Owner will cooperate fully with the officials of Cherry County and will keep them fully and immediately informed of all construction or maintenance work required on the Cherry County Public Right-of-Way. The new aforesaid construction shall be placed at least four foot below the present flow line of both adjoining ditches. The surface of the roadway and the road ditch will be restored to the same condition as it was prior to the work and such restoration will be accomplished to the reasonable satisfaction of Cherry County Officials.

The person to be contacted, PRIOR TO CONSTRUCTION by anyone needing a permit, is the County Highway Superintendent, PO Box 50, Valentine NE 69201. 402-376-2691.

Each location is to be inspected by the Cherry County Roads Department when the permit is submitted and upon project completion, at which latter time any work or supply of gravel reasonably required to restore the surface of the roadway or work to restore the county Right-of-Way to the same condition as it was prior to the work will be determined and the work performed and gravel supplied by Owner.

A plat map and sketch indicating approximate location to or from some easily recognizable landmark must be attached. GPS coordinates are recommended.

The Owner/Applicant shall be responsible for calling Diggers Hotline at 1-800-331-5666, and having utilities located before beginning any work. The Owner/Applicant will be responsible for all damages to any utilities.

The Owner/Applicant shall be responsible to furnish signs, barricades and/or flag persons and whatever is necessary to protect the traveling public from exposure to accidents.

4/22/24

Date



(Signature of Owner)
2460 Windsor Place Pierre, Sd 57501

(Complete Mailing Address)

PERMIT

At the option of the County Board of Commissioners, the owner shall furnish a Surety Bond for an amount specified by the County Board of Commissioners. The form of the Surety Bonds shall be acceptable the the Cherry County Board.
Surety Bond Required: Yes _____ No _____ Amount _____

COMMENTS: (County only) I have reviewed the plans and specifications for this project and recommend that this permit be granted subject to the Owner agreeing to all of the terms listed above

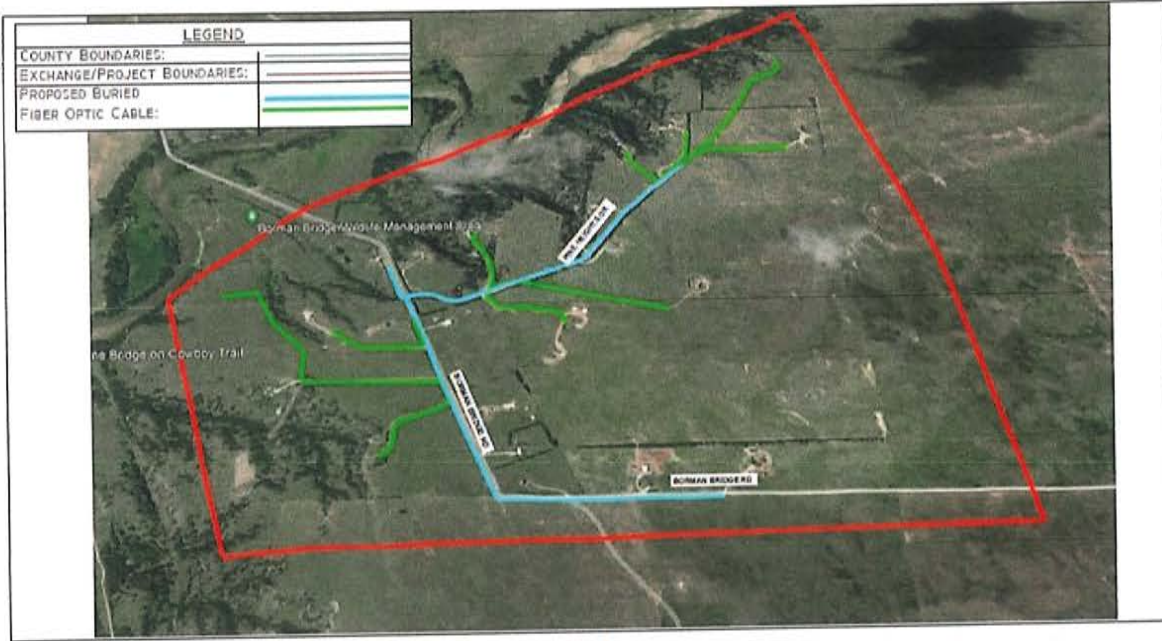
Date

Signature – Highway Superintendent

We hereby grant permission to occupy the County Right-of-Way at the location and according to the procedures and conditions described in this document. This permit is valid for 6 months from date of issue.

Date

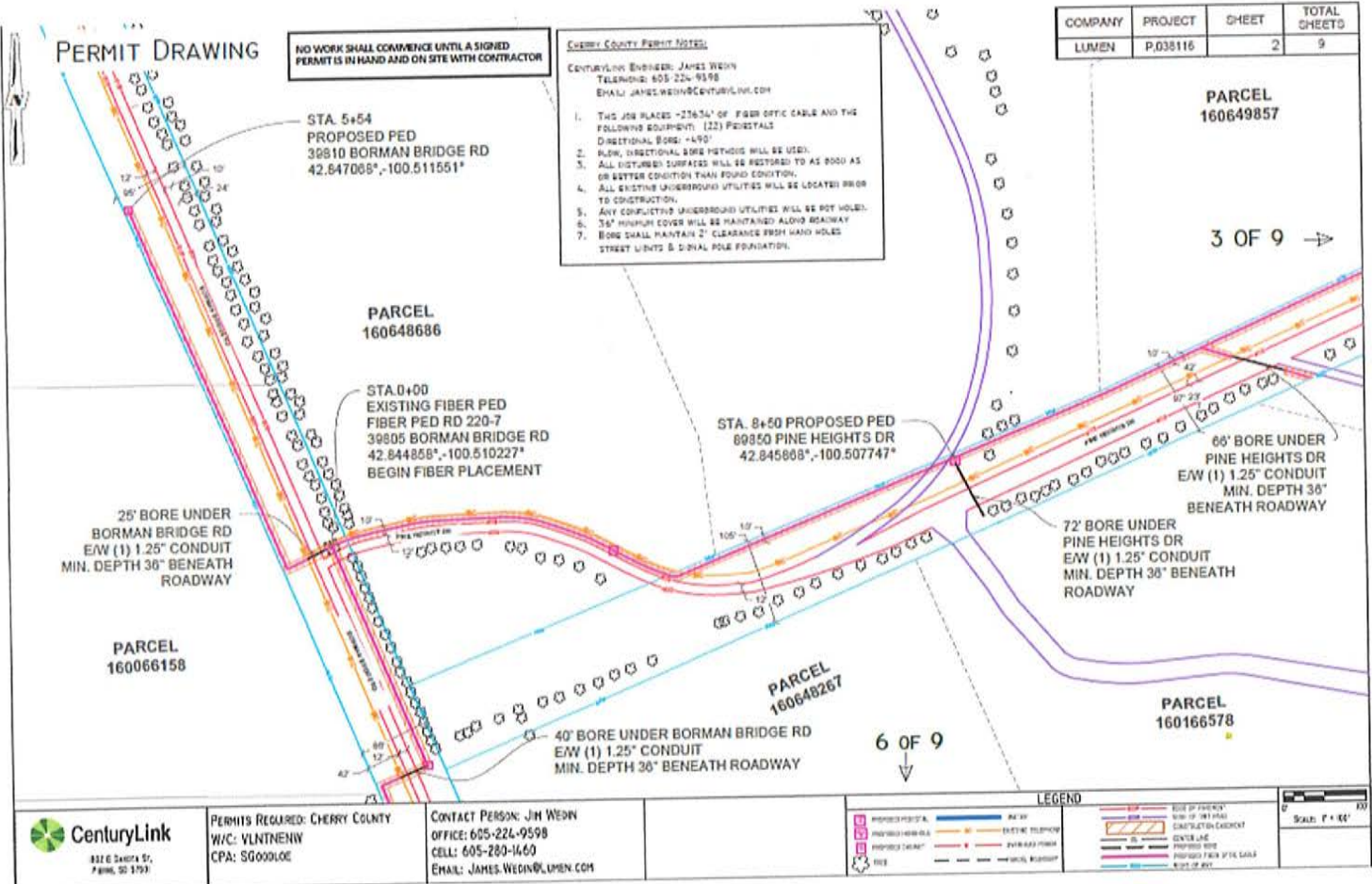
Signature – Board Chairman



CENTURYLINK ENGINEER: JAMES WEDIN
TELEPHONE: 605-224-9598
EMAIL: JAMES.WEDIN@LUMEN.COM

CENTURYLINK CPA: CPA: SCOTT GOODLOE
TELEPHONE: 15X-15X-1515
EMAIL: CPA.EMAIL@LUMEN.COM

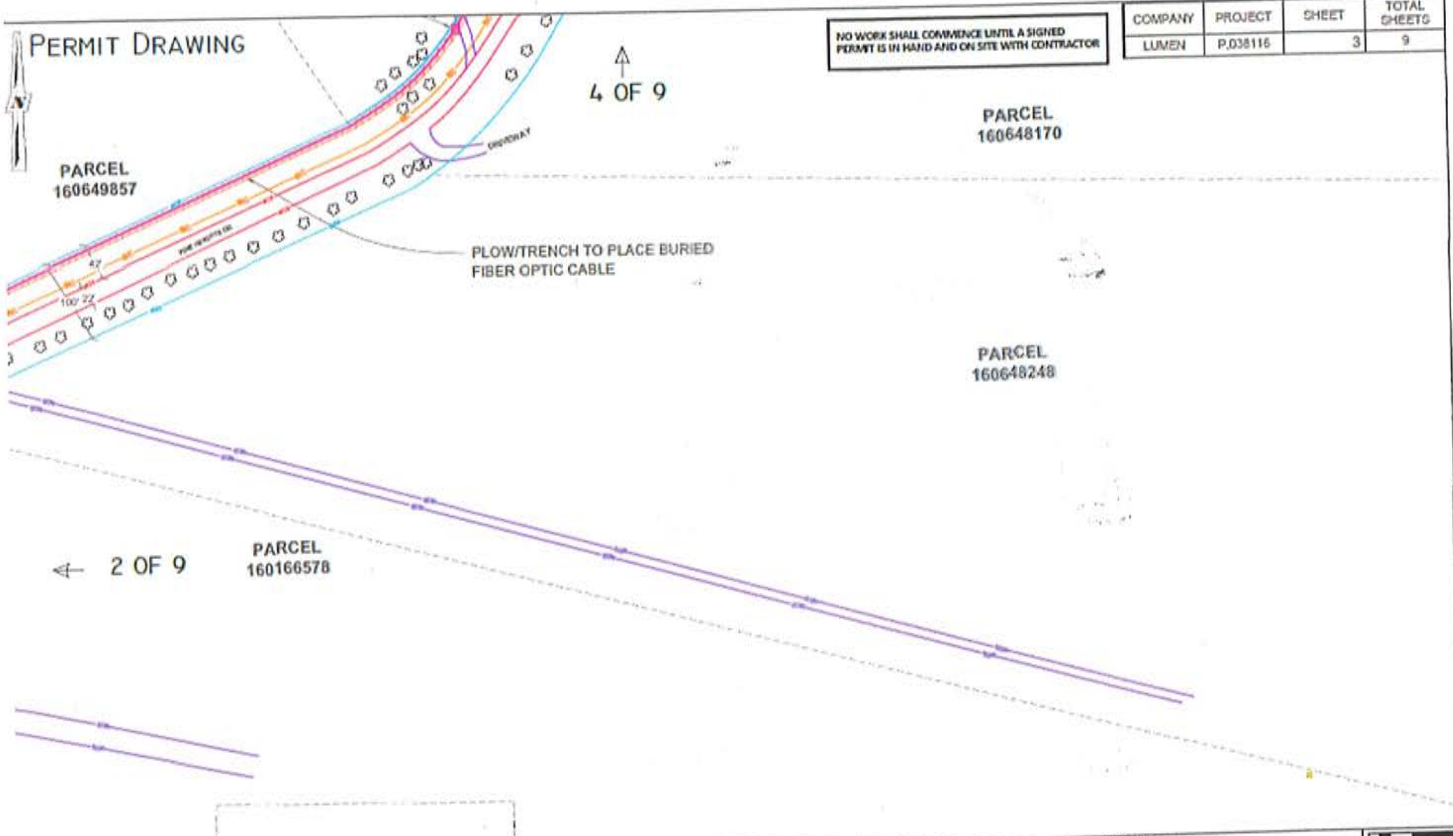
Sheet 0 017



PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038116	3	9



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SG000LOE

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-4660
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND

PROPOSED FIBER OPTIC	PROPOSED CABLE	PROPOSED FIBER OPTIC	PROPOSED FIBER OPTIC
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY

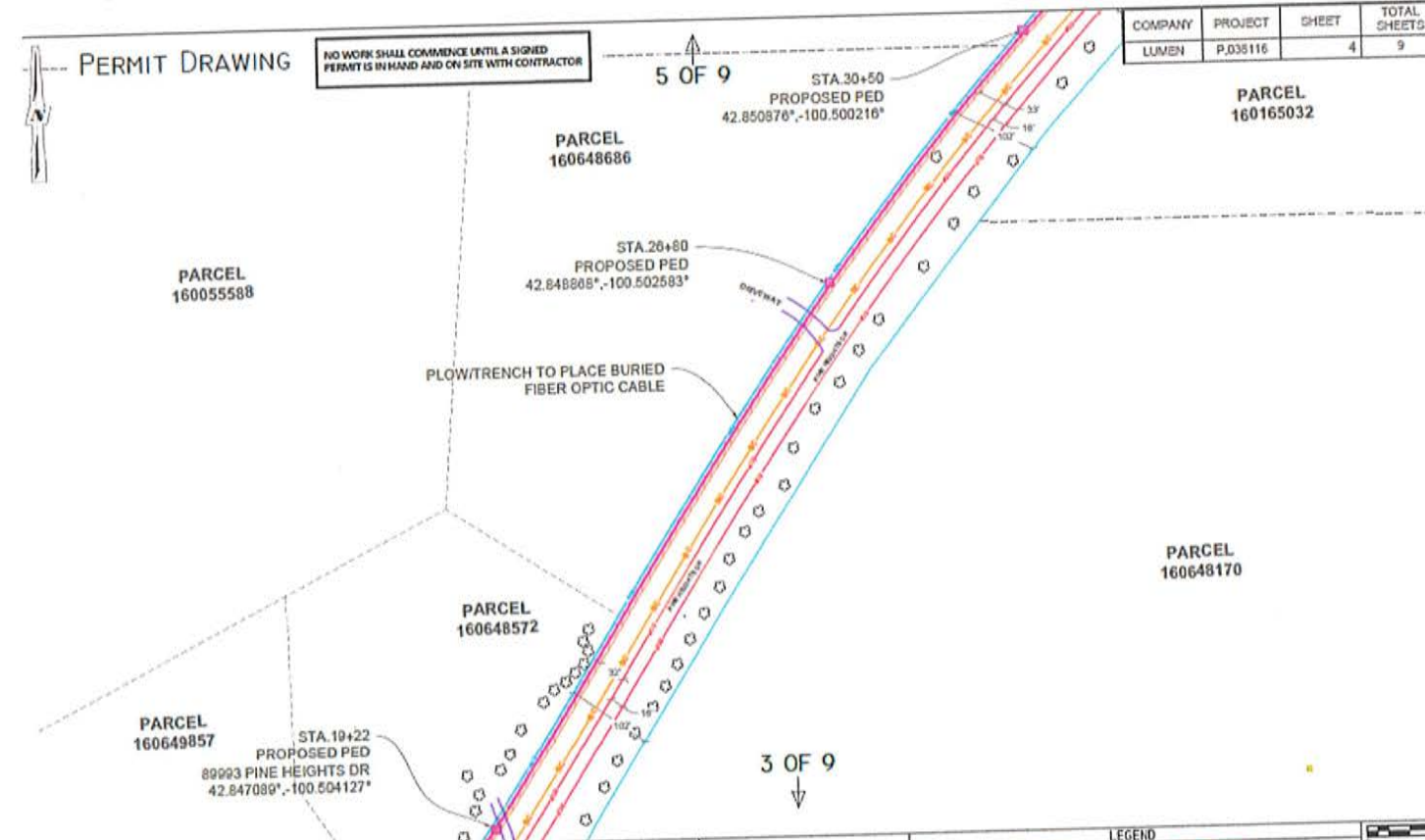
EDGE OF PROPERTY	EDGE OF PROPERTY
EDGE OF RIGHT OF WAY	EDGE OF RIGHT OF WAY
CONSTRUCTION EASEMENT	CONSTRUCTION EASEMENT
EXISTING LINE	EXISTING LINE
PROPOSED LINE	PROPOSED LINE
PROPOSED FIBER OPTIC CABLE	PROPOSED FIBER OPTIC CABLE
ROUTE OF WAY	ROUTE OF WAY

SCALE: 1" = 60'

PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038116	4	9



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SG000LOE

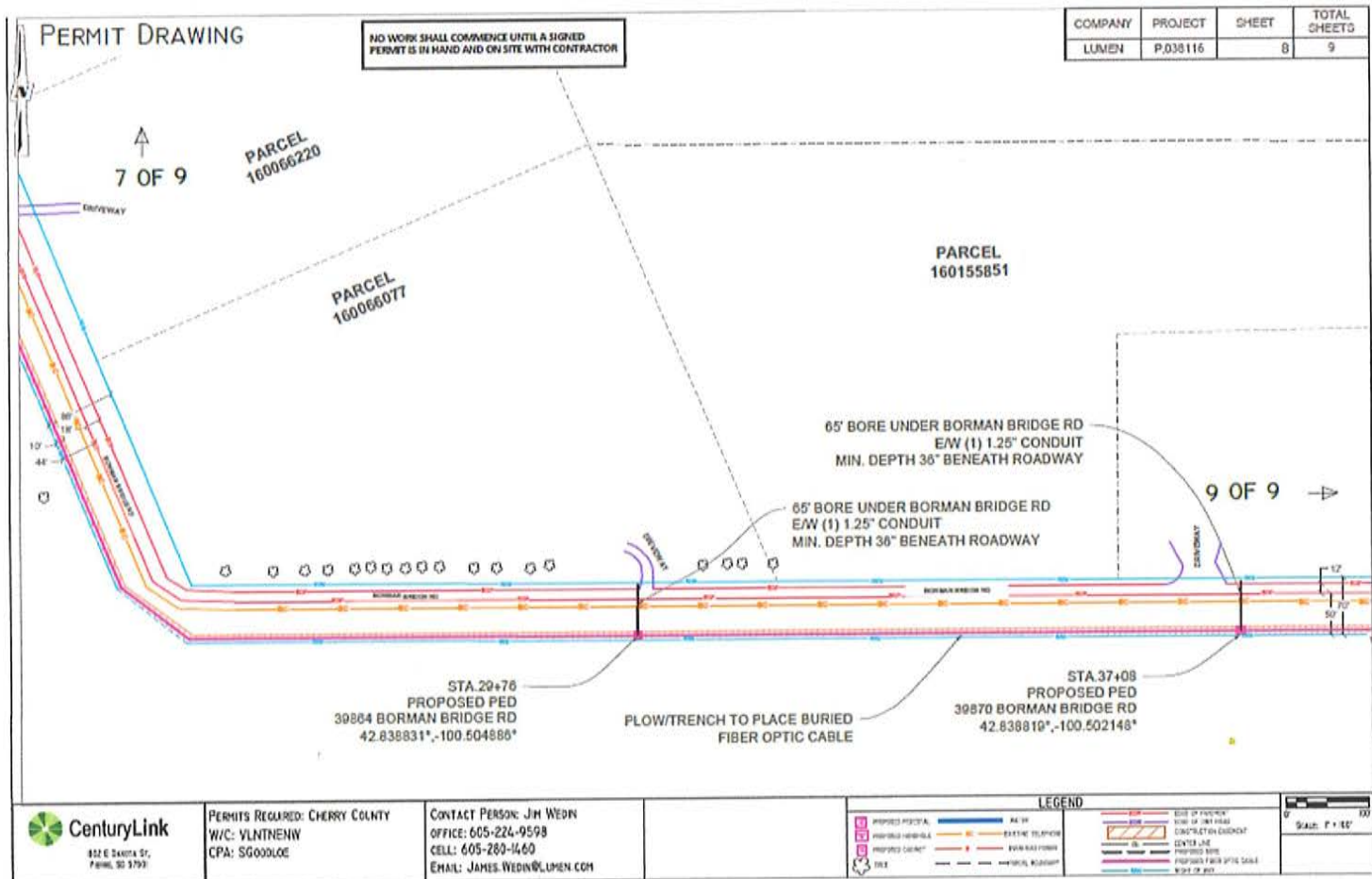
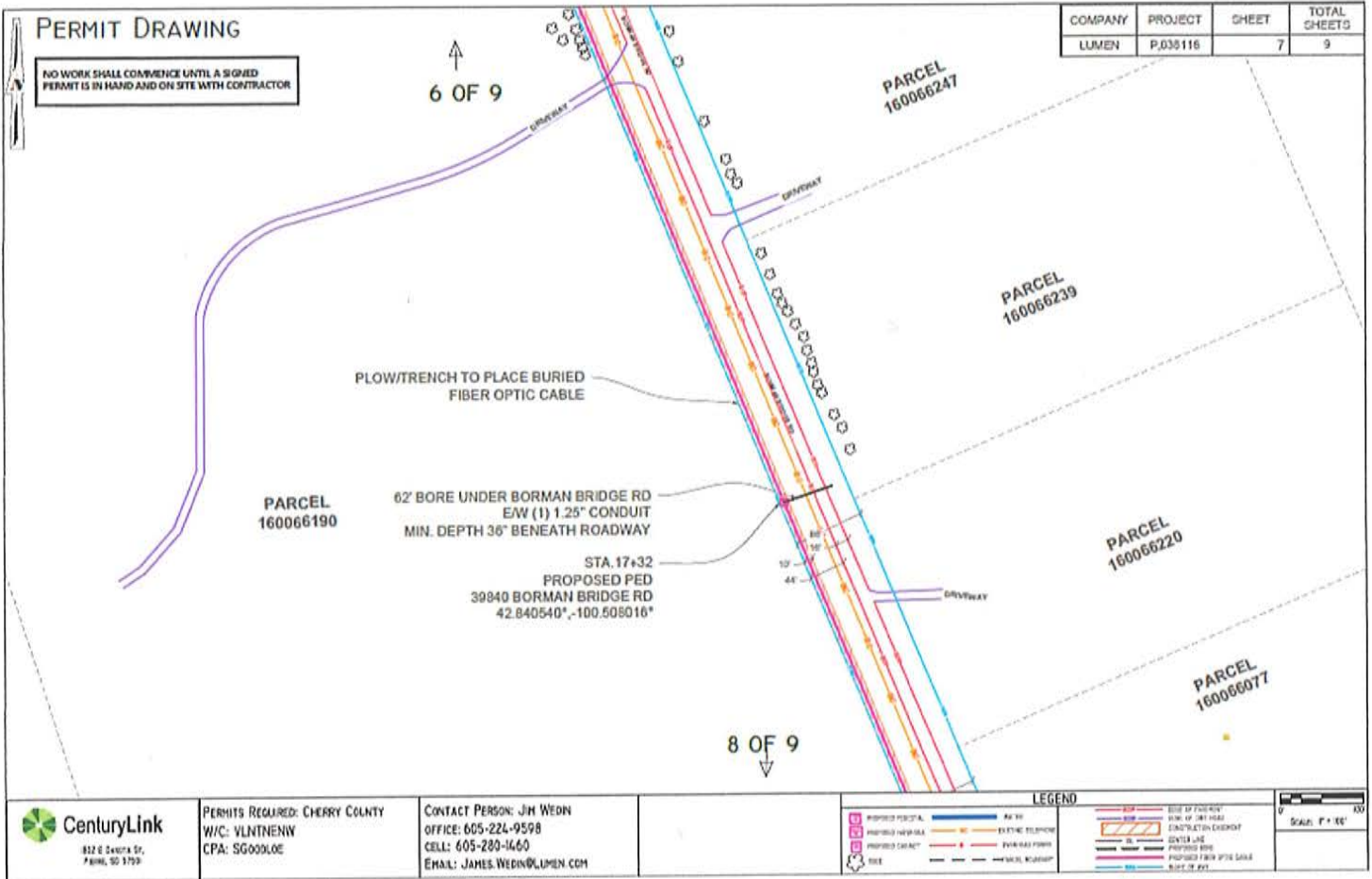
CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-4660
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND

PROPOSED FIBER OPTIC	PROPOSED CABLE	PROPOSED FIBER OPTIC	PROPOSED FIBER OPTIC
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY
PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY	PROPOSED OVERLAY

EDGE OF PROPERTY	EDGE OF PROPERTY
EDGE OF RIGHT OF WAY	EDGE OF RIGHT OF WAY
CONSTRUCTION EASEMENT	CONSTRUCTION EASEMENT
EXISTING LINE	EXISTING LINE
PROPOSED LINE	PROPOSED LINE
PROPOSED FIBER OPTIC CABLE	PROPOSED FIBER OPTIC CABLE
ROUTE OF WAY	ROUTE OF WAY

SCALE: 1" = 60'





Cherry County

Consulting Proposal

April 24,

2024

Presented by
Zelle Human Resource Solutions

Table of Contents

03 Why Work with Us?
Executive Summary

04 Who We Are + What We Do
About Zelle

05 How We Do What We Do Best
Our Solutions For You

07 Meet Our Team

08 Total Investment

09 Contact Us

Why Work with Us?

Zelle Human Resource Solutions provides comprehensive HR consulting services to leadership, managers, and employees. With this retained HR proposal, Zelle will establish specific goals at the beginning of our partnership and be onsite as needed to execute on those goals alongside your team. We integrate with your employees and strategically align with you to make HR an indispensable part of your business. Our recommended solutions are not an all-inclusive list, as every organization is different, and we take a customized approach to each.



1,000+

Current clients in all industries



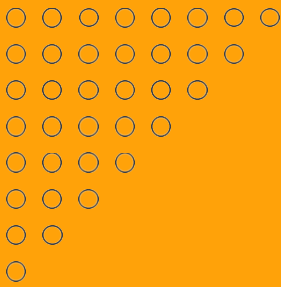
High client retention rates



10

Partnerships as the preferred HR Provider





Who We Are + What We Do.

Zelle Human Resource Solutions is Nebraska's human resource leader - created to deliver outstanding service in the areas of human resources and recruiting. Today, Zelle serves more than 1,000+ clients and our motto has always remained the same: a Midwestern work ethic built on sound principles of commitment and loyalty. We lead with humility and deliver results that go beyond your expectations. No pre-made playbook here. Just simple, solid business practices.



Our Services Include:



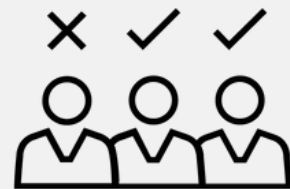
HR Consulting



Employee + Leadership
Development



Talent Assessments



Direct Hire + Recruitment
Management Outsourcing

How We Do What We Do Best.

HR Compliance

As your HR partner, Zelle works to minimize risk and boost current HR processes and procedures to ensure compliance with all local, state, and federal laws. The compliance umbrella is multifaceted and may include record keeping and documentation with ADA, FMLA, Worker's Compensation, unemployment, leaves of absences, and terminations. Zelle may also evaluate benefits, job descriptions, employee handbook and supplemental policies, investigations, and onboarding. In addition, Zelle may assist with annual or dynamic HR-related compliance filings, as requested.

Employee + Leadership Development

Zelle believes creating a strong employee, manager and leadership development philosophy is critical to the success of your organization's overall culture, retention, and employee engagement. In conjunction with your team, Zelle will establish goals for participants to achieve at the end of training sessions or program. Then, utilizing our library of custom courses, we will design content and deliverables to ensure the established goals are met.

Culture + Organizational Structure

Culture enhances organizational performance when people understand it and know how to live it out. Zelle intentionally immerses our team members into your organization's culture to create a trusting, positive relationship your team. Zelle has numerous culturally driven solutions for organizations to gain a deeper understanding of their culture. Each of these solutions are entirely customizable and may include an anonymous culture assessment survey, 360 review, SWOT analysis, strategic planning session, organizational development, or succession planning.

[More Solutions](#)



How We Do What We Do Best.

Employee Relations

An organization's most important investment is in its people. However, numerous employee relation scenarios may involve time-sensitive action, compliance with record keeping, navigating labor laws, or lead to conflict resolution and mitigation. Zelle can manage all HR-related scenarios for ADA, FMLA, Worker's Compensation, terminations, unemployment, leaves of absences, performance conversations, and conflict resolution, as requested. Zelle supports ongoing employee relations by providing confidential, compliant assistance to leadership, managers, and employees.

Employee Benefits + Compensation

Your organization's benefits and compensation can set you apart from competitors, help retain your top talent, and be a persuasive recruiting tool. To ensure your organization's benefits and compensation are top notch, Zelle may analyze your current benefit offerings, compensation philosophy and plans. Zelle has wide-spread knowledge in numerous industries ranging from large organizations to non-profits to start-up businesses. Our partnerships and resources allow us to provide transparent guidance and advice. Zelle may suggest a 'request for proposal' process to ensure your organization's benefits are superior, a compensation analysis to provide insight into market comparatives, or support leadership with market trends and research that project valuable insights for future plans.

Let's Get to Work, Together.

Meet the Zelle Human Resource
Solutions team - people who love
people.



Total Investment.

Solution	Monthly Investment	Term
Retained HR Consulting	\$5,500	12-month agreement

This includes quarterly site visits.



WESTERN NEBRASKA OFFICE
COMING SOON!
OGALLALA, NEBRASKA 69153

ZELLE HEADQUARTERS
3606 SOUTH 48TH ST.
LINCOLN, NEBRASKA 68506

COLUMBUS OFFICE
1464 26TH AVE.
COLUMBUS, NEBRASKA 68601

OMAHA OFFICE
COMING SOON!
OMAHA, NEBRASKA

WWW.ZELLEHR.COM | 402.323.1664 | CONNECT@ZELLEHR.COM



CHERRY COUNTY
REQUEST TO OCCUPY COUNTY RIGHT-OF-WAY

Answorth Electric Motor LLC, hereinafter referred to as "Owner", request to construct a/an
Water line occupying the Cherry County public highway system at (legal)
description T35N, R26W, SE 1/4 of Sec 34.

The Owner proposes to place and maintain the aforesaid construction on Cherry County Public Right-of-Way at Owner's risk and expense and hereby absolves Cherry County, its' officials and employees from any liability arising from the placing and maintaining of said construction. Cherry County will not be liable for any damage to the aforesaid construction that may be caused by Cherry County during maintenance of the right-of-way and if a future road improvement project is scheduled through this area and if the aforesaid construction conflicts with the road improvement project, the Owner will relocate the aforesaid construction at the Owner's expense.

The item that is crossing the roadway and that will occupy the County Right-of-Way is recommended to be bored under the roadway. It is recommended the holes dug for the boring process should be located on private right-of-way. Open trench may be allowed at the discretion of the County. The Owner will cooperate fully with the officials of Cherry County and will keep them fully and immediately informed of all construction or maintenance work required on the Cherry County Public Right-of-Way. The new aforesaid construction shall be placed at least four foot below the present flow line of both adjoining ditches. The surface of the roadway and the road ditch will be restored to the same condition as it was prior to the work and such restoration will be accomplished to the reasonable satisfaction of Cherry County Officials.

The person to be contacted, PRIOR TO CONSTRUCTION by anyone needing a permit, is the County Highway Superintendent, PO Box 50, Valentine NE 69201. 402-376-2691.

Each location is to be inspected by the Cherry County Roads Department when the permit is submitted and upon project completion, at which latter time any work or supply of gravel reasonably required to restore the surface of the roadway or work to restore the county Right-of-Way to the same condition as it was prior to the work will be determined and the work performed and gravel supplied by Owner.

A plat map and sketch indicating approximate location to or from some easily recognizable landmark must be attached. GPS coordinates are recommended.

The Owner/Applicant shall be responsible for calling Diggers Hotline at 1-800-331-5666, and having utilities located before beginning any work. The Owner/Applicant will be responsible for all damages to any utilities.

The Owner/Applicant shall be responsible to furnish signs, barricades and/or flag persons and whatever is necessary to protect the traveling public from exposure to accidents.

4-15-2024
Date

[Signature]
(Signature of Owner)
P.O. Box 83 Answorth, NE 69210
(Complete Mailing Address)

PERMIT

At the option of the County Board of Commissioners, the owner shall furnish a Surety Bond for an amount specified by the County Board of Commissioners. The form of the Surety Bonds shall be acceptable the the Cherry County Board.
Surety Bond Required: Yes _____ No _____ Amount _____

COMMENTS: (County only) I have reviewed the plans and specifications for this project and recommend that this permit be granted subject to the Owner agreeing to all of the terms listed above.

Date

Signature – Highway Superintendent

We hereby grant permission to occupy the County Right-of-Way at the location and according to the procedures and conditions described in this document. This permit is valid for 6 months from date of issue.

Date

Signature – Board Chairman

Cherry County Road Department
 Application Requesting Permission To Bury Utilities
 In Or On County Right-Of-Way

I, Dustin Barthel request permission from the Cherry County Commissioners
 to bury or locate Water line, in or on the right-of-way of the County of Cherry.
Name of Utilities

Location T35 N, R26 W, SE 1/4 of Sec. 34
Describe by 1/4 section the location where the utility is to be located

Length 66ft
Estimate the length of the proposed utility on County right-of-way.

Draw sketch on plat below showing location of such Utility:
 Township 35 N Range 26 W of 6th P.M. Cherry County

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

Owners or renters desiring to place waterline or gas line in or across County right-of-way must have permission granted by the _____ County Commissioners. Water and gas lines buried in the ROW or under the roadbed proper must be a minimum of 48" deep and be of steel, copper, or approved PVC pipe. All electric service that is buried must be buried to the following depths, primary 48", secondary 36". All telephone communications minimum of 30". In case any of the foregoing services are disrupted, damaged or put out of service, the County will not be liable in any way. Permission must be granted by the _____ County Commissioners for any installation of utilities. An approved sign shall be erected on a post 5' above ground level designating the route and location of the utility.

Approved _____ Rejected _____

_____ Dated _____ Name of Applicant _____

_____ Date _____ Chairman _____

CHERRY COUNTY
REQUEST TO OCCUPY COUNTY RIGHT-OF-WAY

Qwest Corp. d/b/a CenturyLink QC, hereinafter referred to as "Owner", request to construct a/an
Fiber Optic Cable & Enclosures occupying the Cherry County public highway system at (legal)
description Along Meadow lake road

The Owner proposes to place and maintain the aforesaid construction on Cherry County Public Right-of-Way at Owner's risk and expense and hereby absolves Cherry County, its' officials and employees from any liability arising from the placing and maintaining of said construction. Cherry County will not be liable for any damage to the aforesaid construction that may be caused by Cherry County during maintenance of the right-of-way and if a future road improvement project is scheduled through this area and if the aforesaid construction conflicts with the road improvement project, the Owner will relocate the aforesaid construction at the Owner's expense.

The item that is crossing the roadway and that will occupy the County Right-of-Way is recommended to be bored under the roadway. It is recommended the holes dug for the boring process should be located on private right-of-way. Open trench may be allowed at the discretion of the County. The Owner will cooperate fully with the officials of Cherry County and will keep them fully and immediately informed of all construction or maintenance work required on the Cherry County Public Right-of-Way. The new aforesaid construction shall be placed at least four foot below the present flow line of both adjoining ditches. The surface of the roadway and the road ditch will be restored to the same condition as it was prior to the work and such restoration will be accomplished to the reasonable satisfaction of Cherry County Officials.

The person to be contacted, PRIOR TO CONSTRUCTION by anyone needing a permit, is the County Highway Superintendent, PO Box 50, Valentine NE 69201. 402-376-2691.

Each location is to be inspected by the Cherry County Roads Department when the permit is submitted and upon project completion, at which latter time any work or supply of gravel reasonably required to restore the surface of the roadway or work to restore the county Right-of-Way to the same condition as it was prior to the work will be determined and the work performed and gravel supplied by Owner.

A plat map and sketch indicating approximate location to or from some easily recognizable landmark must be attached. GPS coordinates are recommended.

The Owner/Applicant shall be responsible for calling Diggers Hotline at 1-800-331-5666, and having utilities located before beginning any work. The Owner/Applicant will be responsible for all damages to any utilities.

The Owner/Applicant shall be responsible to furnish signs, barricades and/or flag persons and whatever is necessary to protect the traveling public from exposure to accidents.

04/09/2024

Date

Jim Wedin

(Signature of Owner)

2450 Windsor place Pierre, SD 57501

(Complete Mailing Address)

PERMIT

At the option of the County Board of Commissioners, the owner shall furnish a Surety Bond for an amount specified by the County Board of Commissioners. The form of the Surety Bonds shall be acceptable the the Cherry County Board.
Surety Bond Required: Yes _____ No _____ Amount _____

COMMENTS: (County only) I have reviewed the plans and specifications for this project and recommend that this permit be granted subject to the Owner agreeing to all of the terms listed above.

_____ Date

_____ Signature - Highway Superintendent

We hereby grant permission to occupy the County Right-of-Way at the location and according to the procedures and conditions described in this document. This permit is valid for 6 months from date of issue.

_____ Date

_____ Signature - Board Chairman



CenturyLink



Lumen Engineer: Jim Wedin

Telephone: 605-280-1460

Email: James.wedin@lumen.com

Project number: P.147244

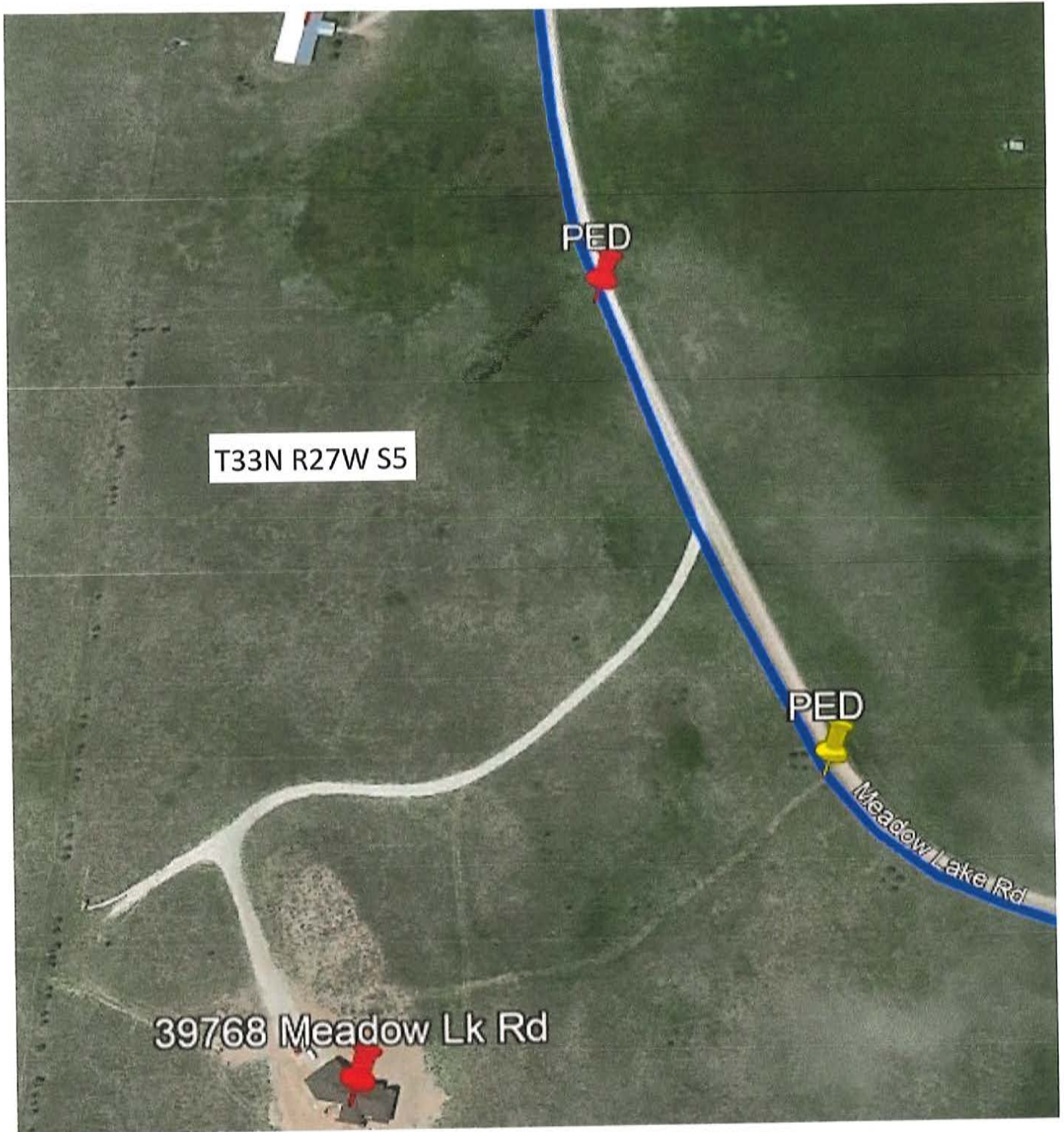
County: Cherry

Section: 5, Town: 33N, Range:27W

Coordinates: 42.8249974, -100.4943548



New fiber optic line to be placed as near to the ROW line as possible along Meadow Lake Rd as shown. Approximately 15 feet from Centerline



New fiber optic line to be placed as near to the ROW line as possible along Meadow Lake Rd as shown. Approximately 15 feet from Centerline



New fiber optic line to be placed as near to the ROW line as possible along Meadow Lake Rd as shown. Approximately 15 feet from Centerline



New fiber optic line to be placed as near to the ROW line as possible along Meadow Lake Rd as shown. Approximately 15 feet from Centerline

CHERRY COUNTY
REQUEST TO OCCUPY COUNTY RIGHT-OF-WAY

CenturyLink Inc. _____, hereinafter referred to as "Owner", request to construct a/an
fiber optic cable & Enclosures _____ occupying the Cherry County public highway system at (legal)

description This job plows ~7,653' of buried fiber optic cable and place the following equipment: 15 pedestals and (1) 18"Hx27"Wx38"D cabinet

The Owner proposes to place and maintain the aforesaid construction on Cherry County Public Right-of-Way at Owner's risk and expense and hereby absolves Cherry County, its' officials and employees from any liability arising from the placing and maintaining of said construction. Cherry County will not be liable for any damage to the aforesaid construction that may be caused by Cherry County during maintenance of the right-of-way and if a future road improvement project is scheduled through this area and if the aforesaid construction conflicts with the road improvement project, the Owner will relocate the aforesaid construction at the Owner's expense.

The item that is crossing the roadway and that will occupy the County Right-of-Way is recommended to be bored under the roadway. It is recommended the holes dug for the boring process should be located on private right-of-way. Open trench may be allowed at the discretion of the County. The Owner will cooperate fully with the officials of Cherry County and will keep them fully and immediately informed of all construction or maintenance work required on the Cherry County Public Right-of-Way. The new aforesaid construction shall be placed at least four foot below the present flow line of both adjoining ditches. The surface of the roadway and the road ditch will be restored to the same condition as it was prior to the work and such restoration will be accomplished to the reasonable satisfaction of Cherry County Officials.

The person to be contacted, PRIOR TO CONSTRUCTION by anyone needing a permit, is the County Highway Superintendent, PO Box 50, Valentine NE 69201. 402-376-2691.

Each location is to be inspected by the Cherry County Roads Department when the permit is submitted and upon project completion, at which latter time any work or supply of gravel reasonably required to restore the surface of the roadway or work to restore the county Right-of-Way to the same condition as it was prior to the work will be determined and the work performed and gravel supplied by Owner.

A plat map and sketch indicating approximate location to or from some easily recognizable landmark must be attached. GPS coordinates are recommended.

The Owner/Applicant shall be responsible for calling Diggers Hotline at 1-800-331-5666, and having utilities located before beginning any work. The Owner/Applicant will be responsible for all damages to any utilities.

The Owner/Applicant shall be responsible to furnish signs, barricades and/or flag persons and whatever is necessary to protect the traveling public from exposure to accidents.

4/22/24

Date

Jim Wedin

(Signature of Owner)

2460 Windsor Place Pierre, sd 57501

(Complete Mailing Address)

PERMIT

At the option of the County Board of Commissioners, the owner shall furnish a Surety Bond for an amount specified by the County Board of Commissioners. The form of the Surety Bonds shall be acceptable the the Cherry County Board.
Surety Bond Required: Yes _____ No _____ Amount _____

COMMENTS: (County only) I have reviewed the plans and specifications for this project and recommend that this permit be granted subject to the Owner agreeing to all of the terms listed above.

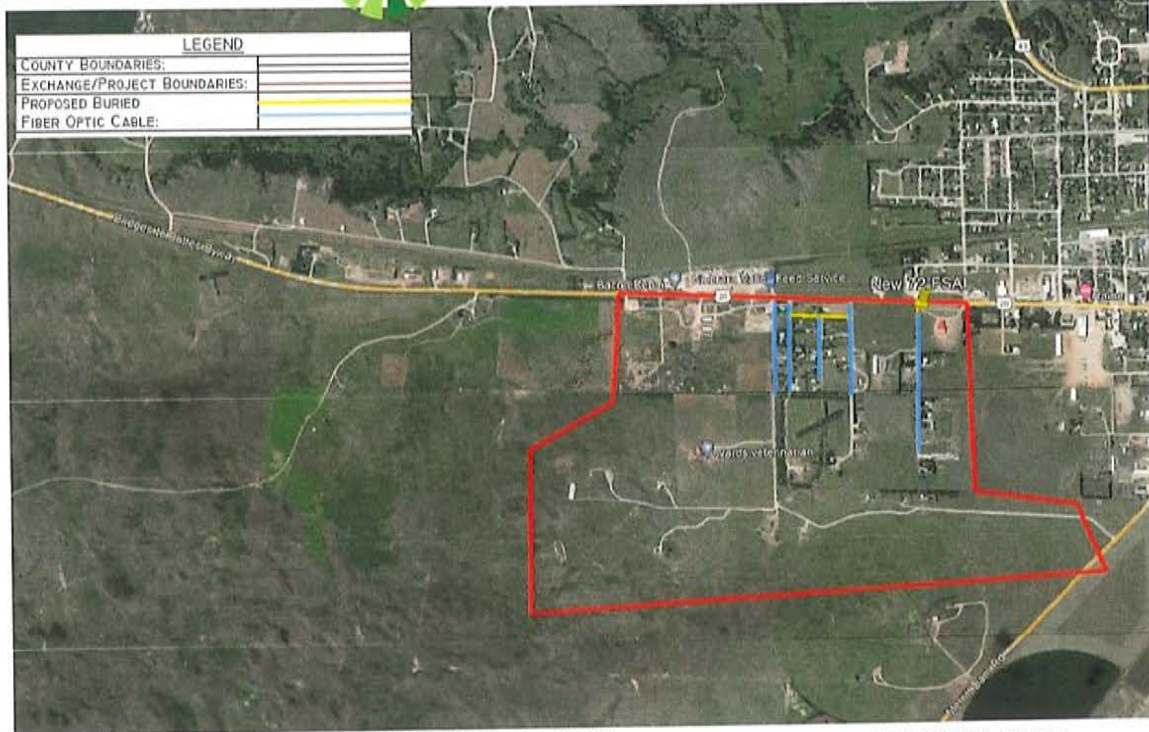
Date

Signature – Highway Superintendent

We hereby grant permission to occupy the County Right-of-Way at the location and according to the procedures and conditions described in this document. This permit is valid for 6 months from date of issue.

Date

Signature – Board Chairman



LEGEND	
COUNTY BOUNDARIES:	
EXCHANGE/PROJECT BOUNDARIES:	
PROPOSED BURIED FIBER OPTIC CABLE:	

SCALE: NTS

PROJECT NUMBER: P.038791
COUNTY: CHERRY

CENTURYLINK ENGINEER: JAMES WEDIN
TELEPHONE: 605-224-9598
EMAIL: JAMES.WEDIN@LUMEN.COM

CENTURYLINK CPA: CPA: JAMES WEDIN
TELEPHONE: 605-224-9598
EMAIL: JAMES.WEDIN@LUMEN.COM

SHEET: 0 OF 6

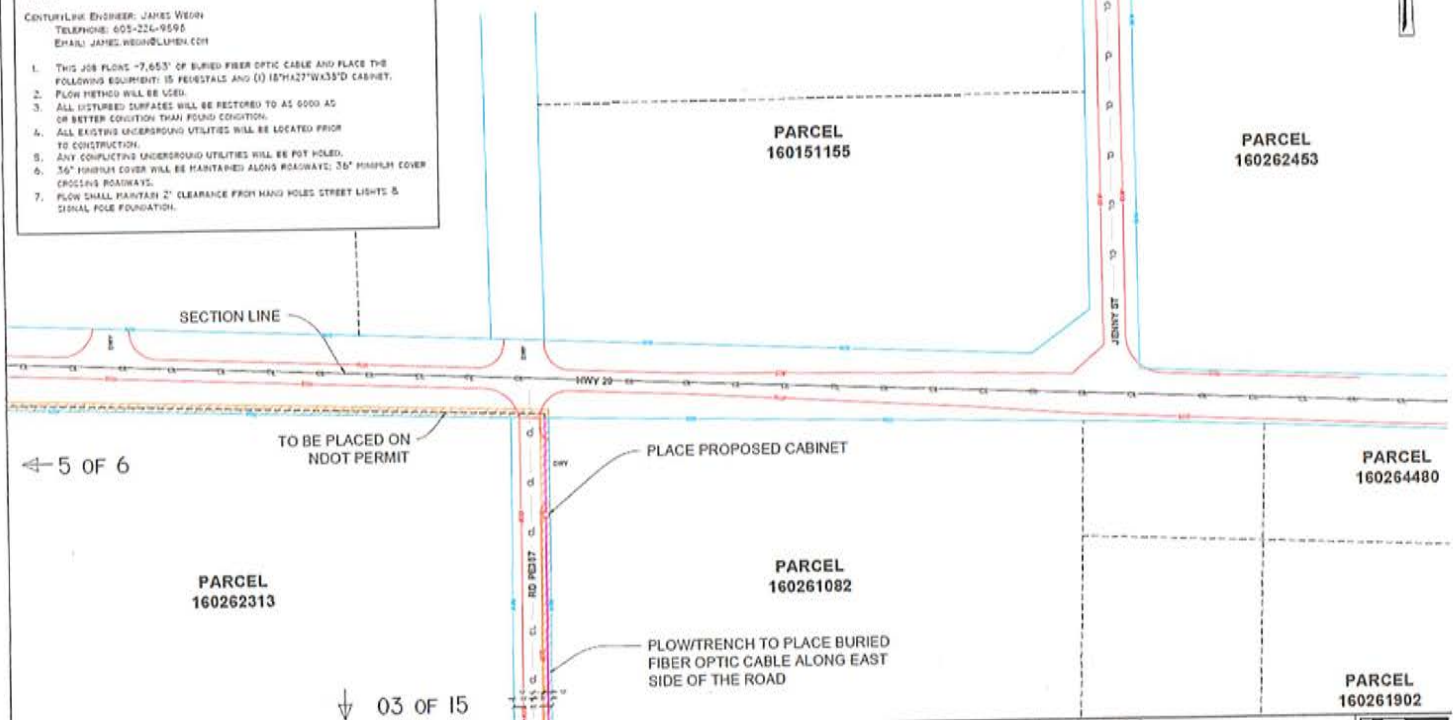
NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038791	2	6

PERMIT DRAWING



- NOTES:**
- CENTURYLINK ENGINEER: JAMES WEDIN
TELEPHONE: 605-224-9598
EMAIL: JAMES.WEDIN@LUMEN.COM
- THIS JOB PLANS ~7,653' OF BURIED FIBER OPTIC CABLE AND PLACE THE FOLLOWING EQUIPMENT: 15 PRESTALS AND (1) 18"X12"X43"D CABINET.
 - FLOW METHODS WILL BE USED.
 - ALL DISTURBED SURFACES WILL BE RESTORED TO AS GOOD AS OR BETTER CONDITION THAN FOUND CONDITION.
 - ALL EXISTING UNDERGROUND UTILITIES WILL BE LOCATED PRIOR TO CONSTRUCTION.
 - ANY CONFLICTING UNDERGROUND UTILITIES WILL BE POT HOLED.
 - 36" MINIMUM COVER WILL BE MAINTAINED ALONG ROADWAYS; 36" MINIMUM COVER CROSSING ROADWAYS.
 - FLOW SHALL MAINTAIN 2" CLEARANCE FROM HAND HOLES STREET LIGHTS & SIGNAL POLE FOUNDATION.



	PROPOSED PRESTAL		EXISTING SA
	EXISTING PRESTAL		EXISTING ELECTRIC
	EXISTING HOSE		EXISTING EQUIP
	EXISTING POWER POLE		

LEGEND

- SIDE OF RIGHT-OF-WAY
- SIDE OF DIRT ROAD
- CONSTRUCTION EASEMENT
- CENTER LINE
- PROPOSED BURIED
- PROPOSED FIBER OPTIC CABLE
- RIGHT OF WAY

SCALE: 1" = 100'
SHEET: 02 OF 6

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038791	3	6

02 OF 15

PROPOSED PEDESTAL

PARCEL 160149029

PARCEL 160262275

PARCEL 160262267

PARCEL 160262321

PARCEL 160262259

PLOW/TRENCH TO PLACE BURIED FIBER OPTIC CABLE ALONG EAST SIDE OF THE ROAD

PROPOSED PEDESTAL

04 OF 6

PERMIT DRAWING

PARCEL 160149134

PARCEL 160261643

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: JWEDIN

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

PROPOSED PEDESTAL	EXISTING SA
EXISTING PEDESTAL	EXISTING ELECTRIC
EXISTING NODE	EXISTING CLOSURE
EXISTING POWER POLE	

LEGEND

EDGE OF PAVED/DIRT ROAD	PROPOSED FIBER OPTIC CABLE
EDGE OF DIRT ROAD	EXISTING POWER POLE
CONSTRUCTION EASEMENT	
CENTER LINE	
PROPOSED DRIVE	
PROPOSED FIBER OPTIC CABLE	
RIGHT OF WAY	

SCALE: 1" = 100'
SHEET: 03 OF 6

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038791	4	6

PARCEL 160262216

PARCEL 160262240

03 OF 15

PLOW/TRENCH TO PLACE BURIED FIBER OPTIC CABLE ALONG EAST SIDE OF THE ROAD

PROPOSED PEDESTAL

PARCEL 160262232

PROPOSED PEDESTAL

PARCEL 160262305

PARCEL 160262186

PARCEL 160262291

PERMIT DRAWING

PARCEL 160261643

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: JWEDIN

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

PROPOSED PEDESTAL	EXISTING SA
EXISTING PEDESTAL	EXISTING ELECTRIC
EXISTING NODE	EXISTING CLOSURE
EXISTING POWER POLE	

LEGEND

EDGE OF PAVED/DIRT ROAD	PROPOSED FIBER OPTIC CABLE
EDGE OF DIRT ROAD	EXISTING POWER POLE
CONSTRUCTION EASEMENT	
CENTER LINE	
PROPOSED DRIVE	
PROPOSED FIBER OPTIC CABLE	
RIGHT OF WAY	

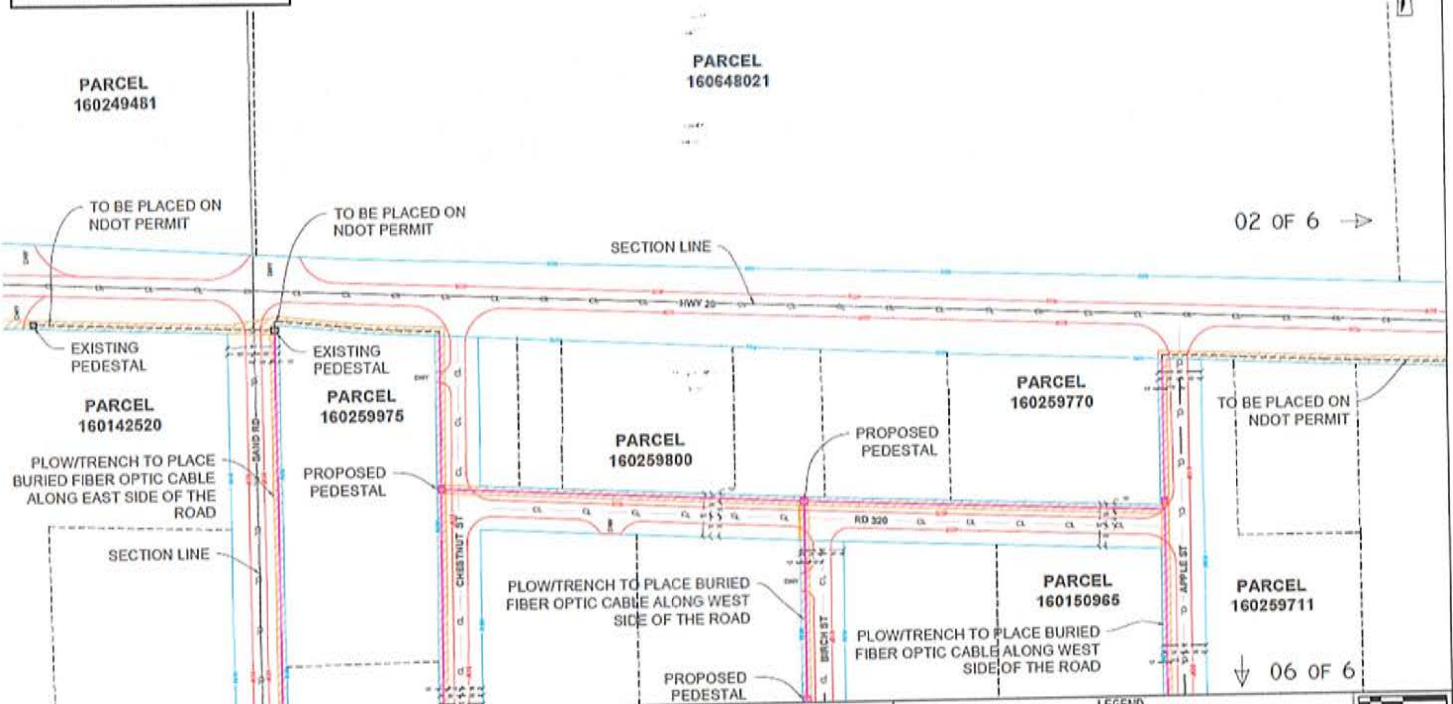
SCALE: 1" = 100'
SHEET: 04 OF 6

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.039791	5	6

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR



02 OF 6 →

↓ 06 OF 6

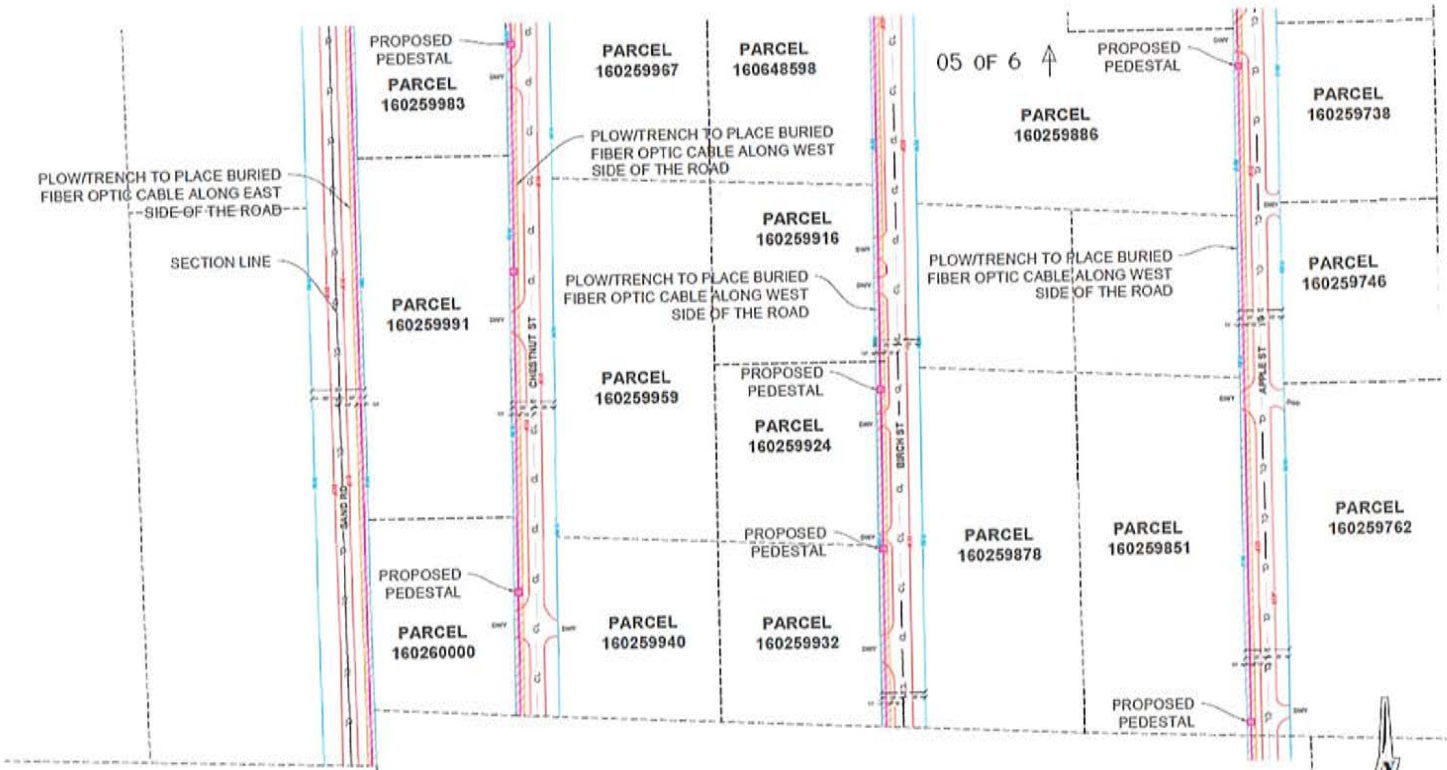


PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: JWEDIN

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND	
	EXISTING SAN
	EXISTING ELECTRIC
	EXISTING CABLED
	RIGHT OF WAY BOUNDARY
	CONSTRUCTION EASEMENT
	CENTER LINE
	PROPOSED SWR
	PROPOSED FIBER OPTIC CABLE
	RIGHT OF WAY

SCALE: 1" = 100'
SHEET: 02 OF 6



05 OF 6 ↑

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.039791	6	6

PERMIT DRAWING



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: JWEDIN

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND	
	EXISTING SAN
	EXISTING ELECTRIC
	EXISTING CABLED
	RIGHT OF WAY BOUNDARY
	CONSTRUCTION EASEMENT
	CENTER LINE
	PROPOSED SWR
	PROPOSED FIBER OPTIC CABLE
	RIGHT OF WAY

SCALE: 1" = 100'
SHEET: 04 OF 6

CHERRY COUNTY
REQUEST TO OCCUPY COUNTY RIGHT-OF-WAY

CenturyLink Inc. _____, hereinafter referred to as "Owner", request to construct a/an
fiber optic cable & Enclosures _____ occupying the Cherry County public highway system at (legal)
description This job plows ~14,364' of buried fiber optic cable, directional bore 292' and place 1.25" conduit with fiber, and place 25 pedestals

The Owner proposes to place and maintain the aforesaid construction on Cherry County Public Right-of-Way at Owner's risk and expense and hereby absolves Cherry County, its' officials and employees from any liability arising from the placing and maintaining of said construction. Cherry County will not be liable for any damage to the aforesaid construction that may be caused by Cherry County during maintenance of the right-of-way and if a future road improvement project is scheduled through this area and if the aforesaid construction conflicts with the road improvement project, the Owner will relocate the aforesaid construction at the Owner's expense.

The item that is crossing the roadway and that will occupy the County Right-of-Way is recommended to be bored under the roadway. It is recommended the holes dug for the boring process should be located on private right-of-way. Open trench may be allowed at the discretion of the County. The Owner will cooperate fully with the officials of Cherry County and will keep them fully and immediately informed of all construction or maintenance work required on the Cherry County Public Right-of-Way. The new aforesaid construction shall be placed at least four foot below the present flow line of both adjoining ditches. The surface of the roadway and the road ditch will be restored to the same condition as it was prior to the work and such restoration will be accomplished to the reasonable satisfaction of Cherry County Officials.

The person to be contacted, PRIOR TO CONSTRUCTION by anyone needing a permit, is the County Highway Superintendent, PO Box 50, Valentine NE 69201. 402-376-2691.

Each location is to be inspected by the Cherry County Roads Department when the permit is submitted and upon project completion, at which latter time any work or supply of gravel reasonably required to restore the surface of the roadway or work to restore the county Right-of-Way to the same condition as it was prior to the work will be determined and the work performed and gravel supplied by Owner.

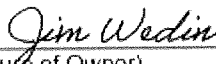
A plat map and sketch indicating approximate location to or from some easily recognizable landmark must be attached. GPS coordinates are recommended.

The Owner/Applicant shall be responsible for calling Diggers Hotline at 1-800-331-5666, and having utilities located before beginning any work. The Owner/Applicant will be responsible for all damages to any utilities.

The Owner/Applicant shall be responsible to furnish signs, barricades and/or flag persons and whatever is necessary to protect the traveling public from exposure to accidents.

4/22/24

Date



(Signature of Owner)
2450 Windsor Place, Pierre, sd 57501

(Complete Mailing Address)

PERMIT

At the option of the County Board of Commissioners, the owner shall furnish a Surety Bond for an amount specified by the County Board of Commissioners. The form of the Surety Bonds shall be acceptable the the Cherry County Board.
Surety Bond Required: Yes _____ No _____ Amount _____

COMMENTS: (County only) I have reviewed the plans and specifications for this project and recommend that this permit be granted subject to the Owner agreeing to all of the terms listed above.

Date

Signature – Highway Superintendent

We hereby grant permission to occupy the County Right-of-Way at the location and according to the procedures and conditions described in this document. This permit is valid for 6 months from date of issue.

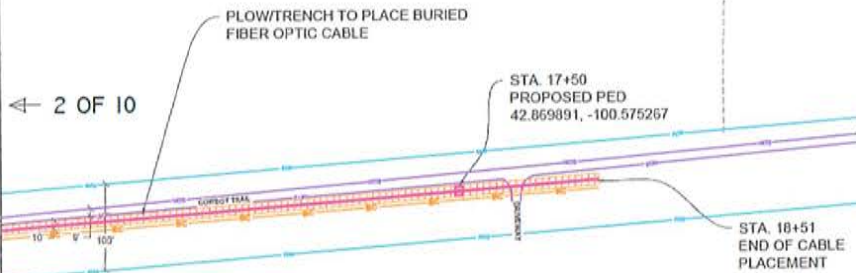
Date

Signature – Board Chairman

PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.036025	3	10



PARCEL
160648021



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SGOODLOE

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

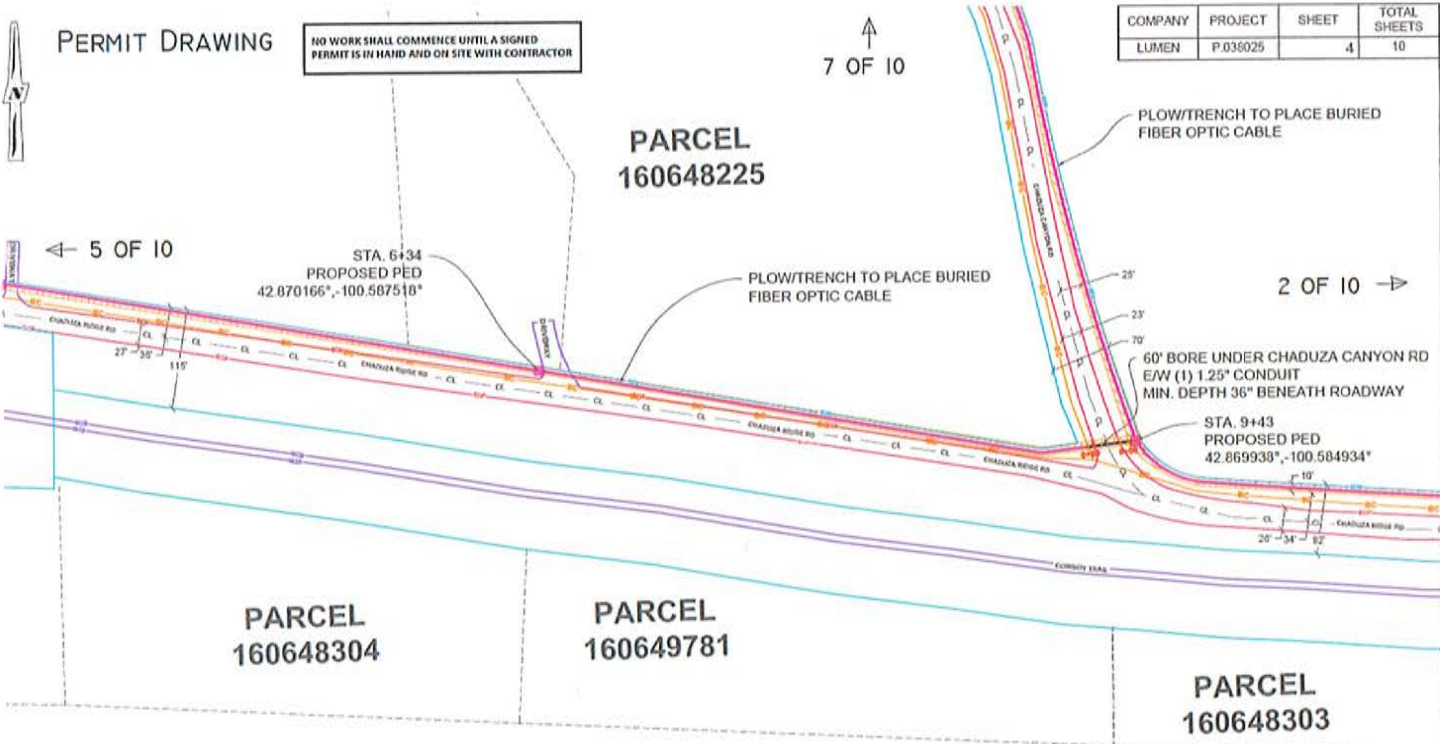
LEGEND	
PROPOSED POSTHOLE	WATER
PROPOSED HOLE	EXISTING TELEPHONE
PROPOSED CABINET	OVERHEAD POWER
TYPE	FENCE, BOUNDARY
	EDGE OF PROPOSED
	EDGE OF BFT ROAD
	CONSTRUCTION EASEMENT
	CONDUIT LINE
	PROPOSED BORE
	PROPOSED FIBER OPTIC CABLE
	RIGHT OF WAY

SCALE: 1" = 100'

PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.036025	4	10



PARCEL
160648304

PARCEL
160649781

PARCEL
160648303



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SGOODLOE

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND	
PROPOSED POSTHOLE	WATER
PROPOSED HOLE	EXISTING TELEPHONE
PROPOSED CABINET	OVERHEAD POWER
TYPE	FENCE, BOUNDARY
	EDGE OF PROPOSED
	EDGE OF BFT ROAD
	CONSTRUCTION EASEMENT
	CONDUIT LINE
	PROPOSED BORE
	PROPOSED FIBER OPTIC CABLE
	RIGHT OF WAY

SCALE: 1" = 100'

PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

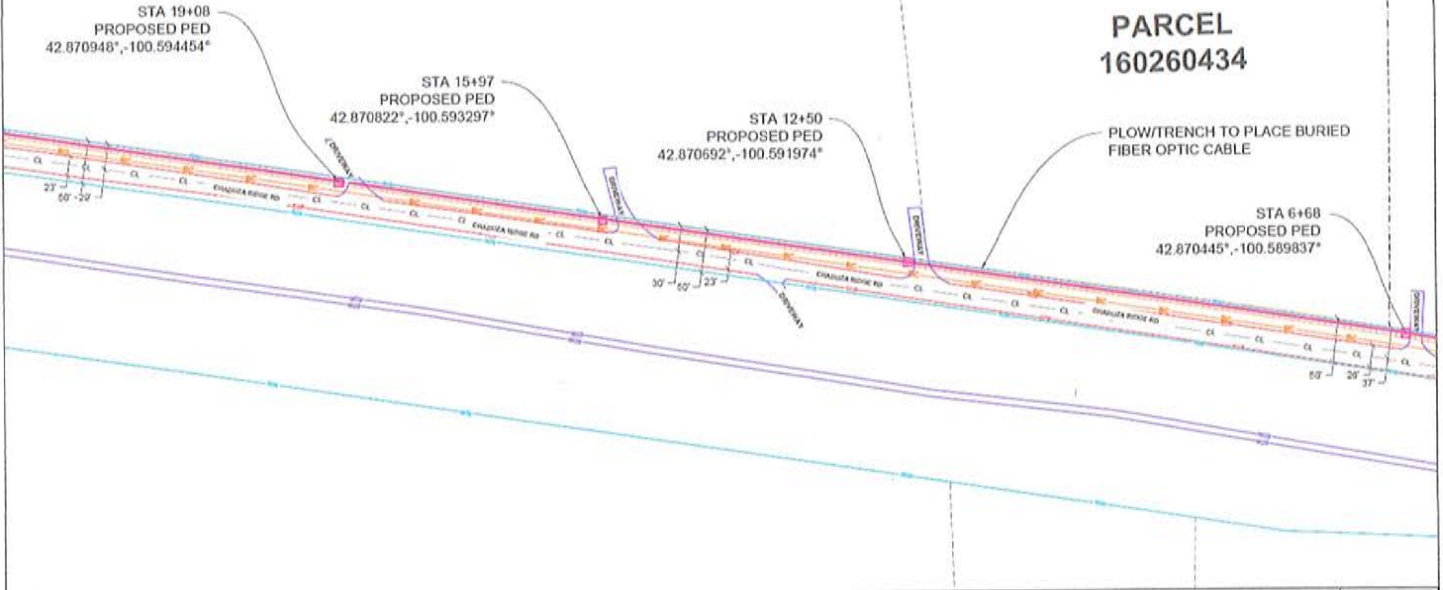
COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038025	5	10

PARCEL 160260426

PARCEL 160260434

← 6 OF 10

4 OF 10 →



PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SGOODLOE

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND

PROPOSED PAVEMENT	WATER	LINE OF TRENCH
PROPOSED SIDEWALK	EXISTING TELEPHONE	EDGE OF 30 FT ROAD
PROPOSED GRASS	EXISTING POWER	CONSTRUCTION EASEMENT
TREE	PROPOSED FIBER OPTIC CABLE	PROPOSED SIDEWALK
	PROPOSED FIBER OPTIC CABLE RIGHT OF WAY	

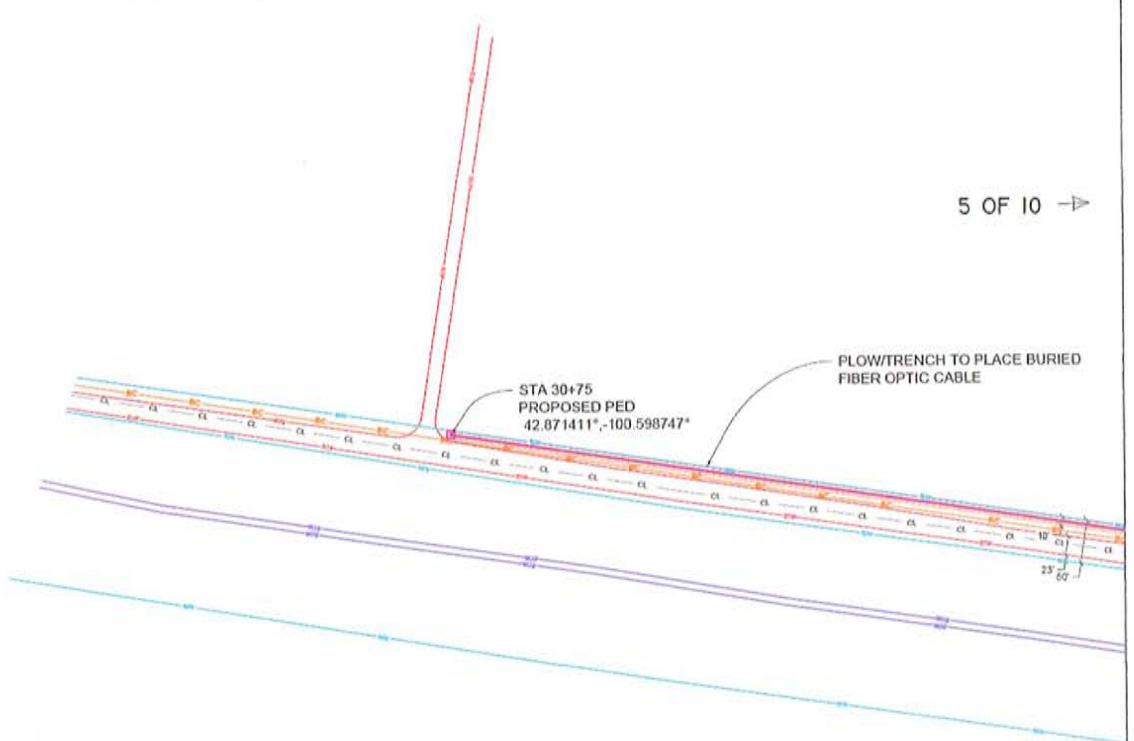


PERMIT DRAWING

NO WORK SHALL COMMENCE UNTIL A SIGNED PERMIT IS IN HAND AND ON SITE WITH CONTRACTOR

COMPANY	PROJECT	SHEET	TOTAL SHEETS
LUMEN	P.038025	6	10

5 OF 10 →

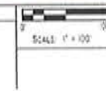


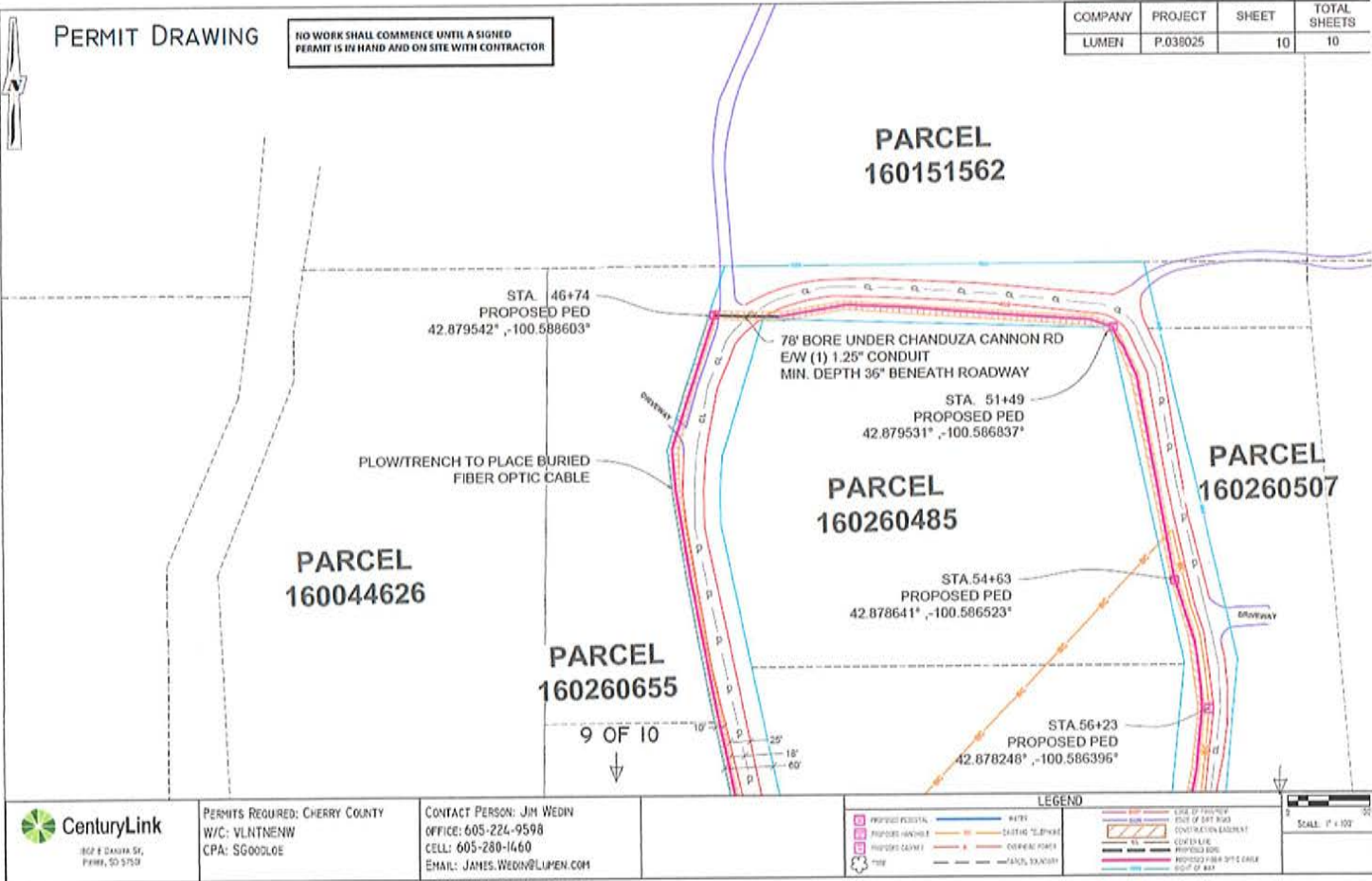
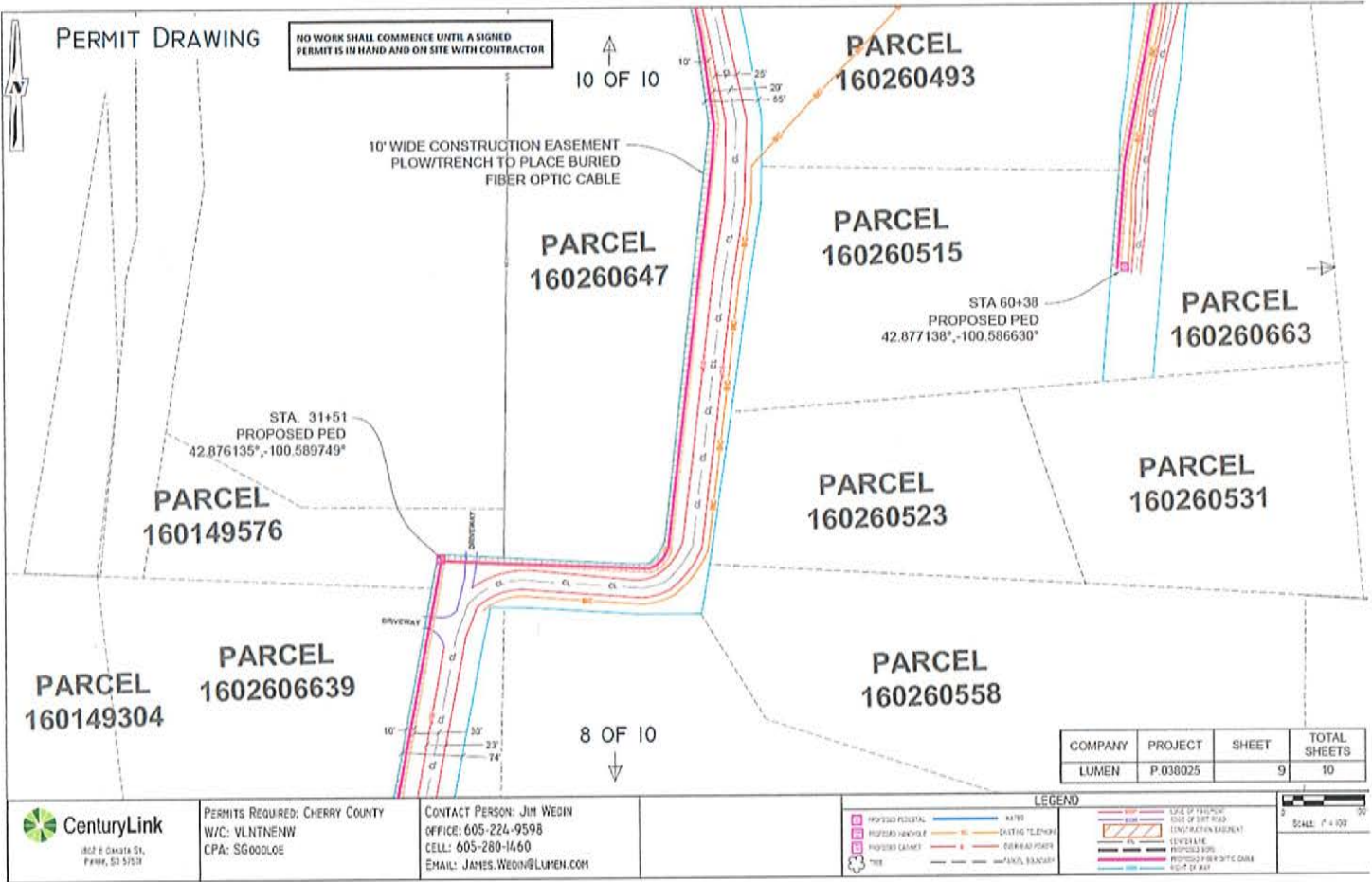
PERMITS REQUIRED: CHERRY COUNTY
W/C: VLNTNENW
CPA: SGOODLOE

CONTACT PERSON: JIM WEDIN
OFFICE: 605-224-9598
CELL: 605-280-1460
EMAIL: JAMES.WEDIN@LUMEN.COM

LEGEND

PROPOSED PAVEMENT	WATER	LINE OF TRENCH
PROPOSED SIDEWALK	EXISTING TELEPHONE	EDGE OF 30 FT ROAD
PROPOSED GRASS	EXISTING POWER	CONSTRUCTION EASEMENT
TREE	PROPOSED FIBER OPTIC CABLE	PROPOSED SIDEWALK
	PROPOSED FIBER OPTIC CABLE RIGHT OF WAY	





April 8, 2024

Jessica Coyle
Interim Cherry County Zoning Administrator
365 N Main St. Suite 8A
Valentine, NE 69201

Dear Jessica and Zoning Board

I regretfully resign my position on the Cherry County Zoning and Planning Board.

My health has prevented me from being an active member for the past several months and I don't expect these circumstances to change soon.

Thank you for the opportunity to serve on this Board.

Sincerely yours

A handwritten signature in cursive script that reads "David R. Rogers". The signature is written in black ink and is positioned to the right of the typed name.

David R. Rogers

James R. Lambley
3103 US Highway 20
Gordon, NE 69343
(308) 360-0102

April 23, 2024

Dear Cherry County Commissioners,

It has come to my attention that there is an opening on the Cherry County Planning and Zoning Commission.

As a Cherry County Resident on the Western edge of Cherry County, I would appreciate being considered for the appointment to the open position.

Respectfully,

A handwritten signature in cursive script that reads "James R. Lambley". The signature is fluid and matches the printed name below it.

James R. Lambley

Tax List Correction

CHERRY County, Nebraska

Property ID: 160666021 - PP (160666021)

Date: 03-21-2024

No: 12

Name and Address:
MIZNER/KODY

Description of Property:
W1/2 321.2 ACRES 2-30-28

Tax Year: 2022

10 School: 16-0006

District: VALENTINE ELEM 1

39415 BALLARDS MARSH RD
VALENTINE, NE 69201

2-30-28

Stmnt No: 1062

	Actual Valuation	Tax Rate	Consolidated Tax	Farmer Credit	Exemption Value	Exemption Credit	Penalty Tax	1st Half	2nd Half	Total Tax
Original Amount	31,073	0.99158300	308.12	0.00	0	0.00	77.04	192.58	192.58	385.16
Corrected Amount										
Additional Amount										
Deducted Amount										

Reason for Correction: OMITTED PROPERTY CHANGE

I hereby direct the County Treasurer of CHERRY County to accept this Official Correction made for the above named party and description and to issue his receipt in payment of the corrected tax as shown above.

ALL CORRECTIONS MADE ON THE TAX ROLL MUST BE SHOWN IN RED.

Approved by action of the County Board

this 30th day of April, 2024

Chairman

County Assessor - County Clerk



By _____
Deputy

Personal Property Return

Nebraska Net Book Value

Tax Year **2022**
 County Name **CHERRY**

File with the County Assessor on or before May 1, or a penalty will be assessed.

* Attach all supporting schedules

Failure to timely report all personal property on this return will result in a forfeiture of the exemption under the Personal Property Tax Relief Act for the personal property not timely reported on this return.

Name and Mailing Address of Property Owner
MIZNER/KODY
39415 BALLARDS MARSH RD
VALENTINE, NE 69201


Telephone Number **402-322-1141**
 Schedule Number **160666021**

Property Type **Agriculture**
 Tax District & Precinct/Township **VALENTINE ELEM 1 16-0006**

Legal Description and / or Address of Property (if different than Mailing)
W1/2 321.2 ACRES 2-30-28

	Taxable Value
Totals	
1 Commercial and industrial property total (from schedule)	1
2 Agricultural machinery and equipment total (from schedule)	31,073
3 TOTAL TAXABLE VALUE before exemptions (total of lines 1 and 2)	31,073

Describe any leased or consigned property in your custody, and list the name and address of the lessor or owner.

Name and Address of Lessor or Owner

Under penalties of law, I declare that I have examined this return, including any attached schedules, and to the best of my knowledge and belief, it is correct and complete.

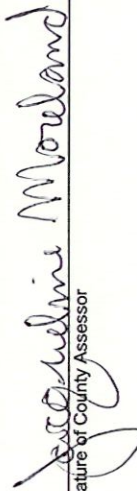
Please complete this return and file with the county assessor's office. Your county assessor may require a copy of your federal depreciation worksheet, if applicable.

sign here Signature of Property Owner and Title _____ Date _____ Daytime Phone Number _____ Email Address _____

Signature of Preparer _____ Date _____ Daytime Phone Number _____ Email Address _____

For County Assessor's Use Only	
Depreciation Worksheet Reviewed	PENALTY <input type="checkbox"/> 10% <input checked="" type="checkbox"/> 25%
03/21/2024 Date	JM Initials
Total personal property value exempted under Personal Property Tax Relief Act	Total personal property value exempted under Beginning Farmer Tax Credit Act
\$	\$

Return to: CHERRY COUNTY ASSESSOR, 365 N MAIN ST, STE 7, VALENTINE NE 69201

Signature of County Assessor  _____ Date **3/21/2024**

Notice of Change in Personal Property Assessment

Name
Kody Mizner

Street or Other Mailing Address
39415 Ballards Marsh Rd

City
Valentine

State
NE

Zip Code
69201

County Name
Cherry

You are hereby notified that after an examination and inspection by the county assessor, the following changes in valuation have been made on your Personal Property Return for the assessment year 2022.

Description of Property	Reported Value	Amended Value	Amount of Change	Penalty % (if any)
Taxable Value Reported 3/14/2023	\$0	\$31,073	\$31,073	25%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%

Based on the above changes, the total taxable value has been changed from the previously reported value of \$0 to the amended total taxable value of \$31,073.

County Assessor's Comments:
**Using your federal depreciation schedule the adjustments listed above change the total taxable value on your return. Contact me with any questions.
 Thank you, Jackie Moreland 402-376-1630 or ccassessor1@cherrycountyne.gov**

Your amended personal property value will be taxed at the same tax rate imposed on other taxable personal property in the tax district in which the property is located.

Any personal property value added by you or the county assessor after May 1, and on or before June 30 of the year the property was required to be reported, will have a penalty of 10% of the tax due on the value added. Any value added by you or the county assessor on or after July 1 of the year the property was required to be reported, will have a penalty of 25% of the tax due on the value added.

Interest is assessed on the tax and penalty from the date of delinquency of the tax, at the statutory rate of 14%, until paid. The date of delinquency is stated on your personal property tax statement.

Appeal Rights and Procedures. If you wish to protest the amended valuation of the property or the penalties imposed, you must file a written protest with the county board of equalization within **30 days of the date of this notice**. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this amended personal property assessment and penalty, if any, is final, due, and owing.

sign here  03/21/2024
 Signature of County Assessor Date

Notice of Penalty and Interest on Personal Property

Name Kody Mizner			
Street or Other Mailing Address 39415 Ballards Marsh Rd			
City Valentine	State NE	Zip Code 69201	County Name Cherry

Your 2022 Personal Property Return was received on the 14 day of March, 2024. Pursuant to Neb. Rev. Stat. § 77-1229, the last date for filing a personal property return with the county assessor is May 1 of each year.

Pursuant to Neb. Rev. Stat. § 77-1233.04, the following penalty has been applied:

- 10% of the tax due on the value added after May 1 and on or before June 30 of the year the property was required to be reported; or
- 25% of the tax due on the value added on or after July 1 of the year the property was required to be reported.

If applicable, interest will be assessed on both the tax and the penalty from the date of delinquency of the tax, at the statutory rate of 14 %, until paid. The date of delinquency is stated on your personal property tax statement.

If you have any questions regarding this notice, please contact the CHERRY County Assessor's office at 402-376-1630.

Address or Phone Number _____
County Name _____

**sign
here**

Jacqueline Warden
Signature of County Assessor

3/21/2024
Date

Instructions

Appeal Rights and Procedures. If you wish to protest the penalties and interest imposed, you must file a written protest with the county board of equalization within 30 days of the date of this notice. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this penalty and interest assessment is final, due, and owing.

Tax List Correction

CHERRY County, Nebraska

Property ID: 160666021 - PP (160666021)

Date: 03-21-2024

No: 37

Name and Address:
MIZNER/KODY

Description of Property:
W1/2 321.2 ACRES 2-30-28

Tax Year: 2023

10 School: 16-0006

District: VALENTINE ELEM 1

39415 BALLARDS MARSH RD
VALENTINE, NE 69201

2-30-28

Stmnt No: 1050

	Actual Valuation	Tax Rate	Consolidated Tax	Farmer Credit	Exemption Value	Exemption Credit	Penalty Tax	1st Half	2nd Half	Total Tax
Original Amount	26,179	0.91201300	238.76	0.00	0	0.00	59.70	149.23	149.23	298.46
Corrected Amount										
Additional Amount										
Deducted Amount										

Reason for Correction: OMITTED PROPERTY CHANGE

I hereby direct the County Treasurer of CHERRY County to accept this Official Correction made for the above named party and description and to issue his receipt in payment of the corrected tax as shown above.

ALL CORRECTIONS MADE ON THE TAX ROLL MUST BE SHOWN IN RED.

Approved by action of the County Board

this 30th day of April, 2024

Chairman

County Assessor - County Clerk



By _____
Deputy

File with the County Assessor on or before May 1, or a penalty will be assessed.

Personal Property Return

Nebraska Net Book Value

Tax Year

2023

County Name

CHERRY

* Attach all supporting schedules

Failure to timely report all personal property on this return will result in a forfeiture of the exemption under the Personal Property Tax Relief Act for the personal property not timely reported on this return.

Name and Mailing Address of Property Owner

**MIZNER/KODY
39415 BALLARDS MARSH RD
VALENTINE, NE 69201**


Telephone Number

402-322-1141

Schedule Number

160666021

Property Type

Agriculture

Tax District & Precinct/Township

10 VALENTINE ELEM 1

Legal Description and / or Address of Property (if different than Mailing)
W1/2 321.2 ACRES 2-30-28

2-30-28

	Totals	Taxable Value
1 Commercial and industrial property total (from schedule)	1	
2 Agricultural machinery and equipment total (from schedule)	2	26,179
3 TOTAL TAXABLE VALUE before exemptions (total of lines 1 and 2)	3	26,179

Describe any leased or consigned property in your custody, and list the name and address of the lessor or owner.
 Name and Address of Lessor or Owner

Under penalties of law, I declare that I have examined this return, including any attached schedules, and to the best of my knowledge and belief, it is correct and complete.

Please complete this return and file with the county assessor's office. Your county assessor may require a copy of your federal depreciation worksheet, if applicable.

sign here

Signature of Property Owner and Title _____ Date _____ Daytime Phone Number _____ Email Address _____
 Signature of Preparer _____ Date _____ Daytime Phone Number _____ Email Address _____

For County Assessor's Use Only	
Depreciation Worksheet Reviewed	
03/21/2024 Date	JM Initials
PENALTY <input type="checkbox"/> 10% <input checked="" type="checkbox"/> 25%	
Total personal property value exempted under Personal Property Tax Relief Act	
\$	\$

Return to: CHERRY COUNTY ASSESSOR, 365 N MAIN ST, STE 7, VALENTINE NE 69201

Signature of County Assessor *Jacqueline Moeland* Date 3/21/2024



Personal Property Schedule – Nebraska Net Book Value

* Attach as many schedules as necessary to your Nebraska Personal Property Return.
* Retain a copy for your records.

Name on Personal Property Return
MIZNER/KODY (160666021)

For Tax Year
2023 (03/14/2024)

Type of Property (Check only one box.)	2 <input checked="" type="checkbox"/> Agricultural Machinery and Equipment
---	--

You may include more than one item on a line ONLY when items were placed in service in the same calendar year and have the same recovery period.

(A) Item Name/Description	(B) Year Placed in Service	(C) Number of Items	(D) Nebraska Adjusted Basis	(E) Recovery Period	(F) Net Book Depreciation Factor	(G) Net Book Taxable Value (Col. D X Col. F) (Round to Whole Dollar)
SEMEN TANK	2022	0	\$ 2,500	7	89.29	\$ 2,232
POST POUNDER	2021	0	680	5	59.50	405
MOWER BAGGER	2021	0	1,892	5	59.50	1,126
COMPUTER	2021	0	1,032	5	59.50	614
TOOL BOX & TOOLS	2020	0	1,629	7	55.13	898
HYDRAULIC CHUTE	2020	0	6,000	7	55.13	3,308
PANELS	2019	0	5,159	7	42.88	2,212
4055 JD TRACTOR	2019	0	35,200	7	42.88	15,094
HEADGATE	2018	0	948	7	30.63	290
TOTAL this page (if more than one schedule is used, total each page separately). Enter the total of all pages on line 1 or line 2, as appropriate, on the Personal Property Return . . .						26,179

Notice of Change in Personal Property Assessment

Name
Kody Mizner

Street or Other Mailing Address
39415 Ballards Marsh Rd

City
Valentine

State
NE

Zip Code
69201

County Name
Cherry

You are hereby notified that after an examination and inspection by the county assessor, the following changes in valuation have been made on your Personal Property Return for the assessment year 2023.

Description of Property	Reported Value	Amended Value	Amount of Change	Penalty % (if any)
Taxable Value Reported 3/14/2023	\$0	\$26,179	\$26,179	25%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%

Based on the above changes, the total taxable value has been changed from the previously reported value of \$0 to the amended total taxable value of \$26,179.


County Assessor's Comments:
**Using your federal depreciation schedule the adjustments listed above change the total taxable value on your return. Contact me with any questions.
 Thank you, Jackie Moreland 402-376-1630 or ccassessor1@cherrycountyne.gov**

Your amended personal property value will be taxed at the same tax rate imposed on other taxable personal property in the tax district in which the property is located.

Any personal property value added by you or the county assessor after May 1, and on or before June 30 of the year the property was required to be reported, will have a penalty of 10% of the tax due on the value added. Any value added by you or the county assessor on or after July 1 of the year the property was required to be reported, will have a penalty of 25% of the tax due on the value added.

Interest is assessed on the tax and penalty from the date of delinquency of the tax, at the statutory rate of 14%, until paid. The date of delinquency is stated on your personal property tax statement.

Appeal Rights and Procedures. If you wish to protest the amended valuation of the property or the penalties imposed, you must file a written protest with the county board of equalization within **30 days of the date of this notice**. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this amended personal property assessment and penalty, if any, is final, due, and owing.

sign here  03/21/2024
 Signature of County Assessor Date

Notice of Penalty and Interest on Personal Property

Name Kody Mizner			
Street or Other Mailing Address 39415 Ballard's Marsh Rd			
City Valentine	State NE	Zip Code 69201	County Name Cherry


Your 2023 Personal Property Return was received on the 14 day of March, 2024. Pursuant to Neb. Rev. Stat. § 77-1229, the last date for filing a personal property return with the county assessor is May 1 of each year.

Pursuant to Neb. Rev. Stat. § 77-1233.04, the following penalty has been applied:

- 10% of the tax due on the value added after May 1 and on or before June 30 of the year the property was required to be reported; or
- 25% of the tax due on the value added on or after July 1 of the year the property was required to be reported.

If applicable, interest will be assessed on both the tax and the penalty from the date of delinquency of the tax, at the statutory rate of 14 %, until paid. The date of delinquency is stated on your personal property tax statement.

If you have any questions regarding this notice, please contact the CHERRY County Assessor's office at 402-376-1630.

Address or Phone Number _____ County Name _____
sign here  _____ Date 3/21/2024
Signature of County Assessor

Instructions

Appeal Rights and Procedures. If you wish to protest the penalties and interest imposed, you must file a written protest with the county board of equalization within 30 days of the date of this notice. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this penalty and interest assessment is final, due, and owing.

Tax List Correction

CHERRY County, Nebraska

Property ID: 160666021 - PP (160666021)

Date: 03-21-2024

No: 13

Name and Address:
MIZNER/KODY

Description of Property:
W1/2 321.2 ACRES 2-30-28

Tax Year: 2021

10 School: 16-0006

District: VALENTINE ELEM 1

39415 BALLARDS MARSH RD
VALENTINE, NE 69201

2-30-28

Stmnt No: 1088

	Actual Valuation	Tax Rate	Consolidated Tax	Farmer Credit	Exemption Value	Exemption Credit	Penalty Tax	1st Half	2nd Half	Total Tax
Original Amount	35,651	1.01397500	361.50	0.00	0	0.00	90.38	225.94	225.94	451.88
Corrected Amount										
Additional Amount										
Deducted Amount										

Reason for Correction: OMITTED PROPERTY CHANGE

I hereby direct the County Treasurer of CHERRY County to accept this Official Correction made for the above named party and description and to issue his receipt in payment of the corrected tax as shown above.

ALL CORRECTIONS MADE ON THE TAX ROLL MUST BE SHOWN IN RED.

Approved by action of the County Board

this 30th day of April, 2024

Chairman

County Assessor - County Clerk

By _____
Deputy



Personal Property Return

Nebraska Net Book Value

Tax Year **2021**
 County Name **CHERRY**

File with the County Assessor on or before May 1, or a penalty will be assessed.

* Attach all supporting schedules

Failure to timely report all personal property on this return will result in a forfeiture of the exemption under the Personal Property Tax Relief Act for the personal property not timely reported on this return.

Name and Mailing Address of Property Owner
MIZNER/KODY
39415 BALLARDS MARSH RD
VALENTINE, NE 69201


Telephone Number
402-322-1141

Schedule Number
160666021

Property Type
Agriculture

Tax District & Precinct/Township
10 VALENTINE ELEM 1 16-0006

Legal Description and/or Address of Property (If different than Mailing)
W1/2 321.2 ACRES 2-30-28

	Taxable Value
Totals	
1 Commercial and industrial property total (from schedule)	1
2 Agricultural machinery and equipment total (from schedule)	35,651
3 TOTAL TAXABLE VALUE before exemptions (total of lines 1 and 2)	35,651

Describe any leased or consigned property in your custody, and list the name and address of the lessor or owner.

Name and Address of Lessor or Owner

Under penalties of law, I declare that I have examined this return, including any attached schedules, and to the best of my knowledge and belief, it is correct and complete.

Please complete this return and file with the county assessor's office. Your county assessor may require a copy of your federal depreciation worksheet, if applicable.

sign here Signature of Property Owner and Title _____ Date _____ Daytime Phone Number _____ Email Address _____

Signature of Preparer _____ Date _____ Daytime Phone Number _____ Email Address _____

For County Assessor's Use Only

Depreciation Worksheet Reviewed 03/21/2024 JM
Date Initials

Total personal property value exempted under Personal Property Tax Relief Act \$ _____

PENALTY 10% 25%

Total personal property value exempted under Beginning Farmer Tax Credit Act

\$ _____

Return to: CHERRY COUNTY ASSESSOR, 365 N MAIN ST, STE 7, VALENTINE NE 69201

Signature of County Assessor *Jessie Meloni Moreland* _____ Date 3/21/2024

Personal Property Schedule – Nebraska Net Book Value

* Attach as many schedules as necessary to your Nebraska Personal Property Return.
 * Retain a copy for your records.

Name on Personal Property Return

MIZNER/KODY (160666021)

For Tax Year

2021 (03/14/2024)

Type of Property
(Check only one box.)

Commercial and Industrial Property

Agricultural Machinery and Equipment

You may include more than one item on a line ONLY when items were placed in service in the same calendar year and have the same recovery period.

(A) Item Name/Description	(B) Year Placed in Service	(C) Number of Items	(D) Nebraska Adjusted Basis	(E) Recovery Period	(F) Net Book Depreciation Factor	(G) Net Book Taxable Value (Col. D X Col. F) (Round to Whole Dollar)
SEMEN TANK	2022	0	\$ 2,500	7	0.00	\$ 0
POST POUNDER	2021	0	680	5	0.00	0
MOWER BAGGER	2021	0	1,892	5	0.00	0
COMPUTER	2021	0	1,032	5	0.00	0
TOOL BOX & TOOLS	2020	0	1,629	7	89.29	1,455
HYDRAULIC CHUTE	2020	0	6,000	7	89.29	5,357
PANELS	2019	0	5,159	7	70.16	3,620
4055 JD TRACTOR	2019	0	35,200	7	70.16	24,696
HEADGATE	2018	0	948	7	55.13	523
TOTAL this page (if more than one schedule is used, total each page separately). Enter the total of all pages on line 1 or line 2, as appropriate, on the Personal Property Return . . .						35,651

Notice of Change in Personal Property Assessment

Name
Kody Mizner

Street or Other Mailing Address
39415 Ballards Marsh Rd

City
Valentine

State
NE

Zip Code
69201

County Name
Cherry

You are hereby notified that after an examination and inspection by the county assessor, the following changes in valuation have been made on your Personal Property Return for the assessment year 2021.

Description of Property	Reported Value	Amended Value	Amount of Change	Penalty % (if any)
Taxable Value Reported 3/14/2023	\$0	\$35,651	\$35,651	25%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%
			\$0	0%

Based on the above changes, the total taxable value has been changed from the previously reported value of \$0 to the amended total taxable value of \$35,651.

County Assessor's Comments:
Using your federal depreciation schedule the adjustments listed above change the total taxable value on your return. Contact me with any questions.
Thank you, Jackie Moreland 402-376-1630 or ccessor1@cherrycountyne.gov

Your amended personal property value will be taxed at the same tax rate imposed on other taxable personal property in the tax district in which the property is located.

Any personal property value added by you or the county assessor after May 1, and on or before June 30 of the year the property was required to be reported, will have a penalty of 10% of the tax due on the value added. Any value added by you or the county assessor on or after July 1 of the year the property was required to be reported, will have a penalty of 25% of the tax due on the value added.

Interest is assessed on the tax and penalty from the date of delinquency of the tax, at the statutory rate of 14%, until paid. The date of delinquency is stated on your personal property tax statement.

Appeal Rights and Procedures. If you wish to protest the amended valuation of the property or the penalties imposed, you must file a written protest with the county board of equalization within 30 days of the date of this notice. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this amended personal property assessment and penalty, if any, is final, due, and owing.

sign here  03/21/2024
Signature of County Assessor Date

Notice of Penalty and Interest on Personal Property

Name Kody Mizner	
Street or Other Mailing Address 39415 Ballards Marsh Rd	
City Valentine	State NE
Zip Code 69201	County Name Cherry


Your 2021 Personal Property Return was received on the 14 day of March, 2024. Pursuant to Neb. Rev. Stat. § 77-1229, the last date for filing a personal property return with the county assessor is May 1 of each year.

Pursuant to Neb. Rev. Stat. § 77-1233.04, the following penalty has been applied:

- 10% of the tax due on the value added after May 1 and on or before June 30 of the year the property was required to be reported; or
- 25% of the tax due on the value added on or after July 1 of the year the property was required to be reported.

If applicable, interest will be assessed on both the tax and the penalty from the date of delinquency of the tax, at the statutory rate of 14%, until paid. The date of delinquency is stated on your personal property tax statement.

If you have any questions regarding this notice, please contact the CHERRY County Assessor's office at 402-376-1630.

Address or Phone Number _____ County Name _____
sign here  _____ Date 3/21/2024

Signature of County Assessor

Instructions

Appeal Rights and Procedures. If you wish to protest the penalties and interest imposed, you must file a written protest with the county board of equalization within 30 days of the date of this notice. The action of the county board of equalization, in an appeal of the penalties imposed, is limited to correcting penalties which were wrongly imposed or incorrectly calculated. The county board of equalization has no authority to waive or reduce any penalty which was correctly imposed and calculated. If you do not file a protest in a timely manner, this penalty and interest assessment is final, due, and owing.

NEBRASKA

Good Life. Great Service.

COMMISSION ON LAW ENFORCEMENT
AND CRIMINAL JUSTICE

April 2, 2024



Jim Pillen, Governor

Cherry County Jail
Sharon Hesse, Jail Administrator
365 N. Main Street
Valentine, NE 69201

Dear Ms. Hesse,

This is to confirm that on May 8, 2024, I will visit the Cherry County Jail facility to conduct an annual inspection for the Nebraska Jail Standards Board.

Please note that Standards requires policies and procedures that reflect all aspects of Nebraska Minimum Jail Standards. Additionally, standards Chapters 2 through 13, requires documentation regarding jail operations. Please have the facility's policy and procedure manual in addition to the required documentation available for this inspection. Enclosed you will find a checklist of this documentation.

In addition, enclosed you will find a copy of your staff roster and data from the last annual inspection. Please update this roster accordingly to include Name/Position, Date Hired, Initial Training Location and Date of that Initial Training. Also please update the data that has been highlighted.

Thank you.

Sincerely,

Jodi Elsea
Field Representative
Jail Standards Division

JE:je
xc: County Attorney
Chairperson, County Board

Bryan Tuma, Executive Director

Nebraska Commission on Law Enforcement and Criminal Justice

P.O. Box 94946

OFFICE 402-471-2194 FAX 402-471-2837

301 Centennial Mall South
Lincoln, Nebraska 68509

NCC.Webmaster@Nebraska.gov

ncc.nebraska.gov

